

Notice of Public Hearing
Huron County Planning Commission
Wednesday, February 4, 2026 at 7:00 p.m.
County Building, Room 305
250 E. Huron Avenue, Bad Axe, Michigan, 48413
Special Approval Use Permit: SAP 2026-02.

Notice is given that the Huron County Planning Commission will hold a public hearing on Wednesday, February 4, 2026, at 7:00 p.m., in Room 305, County Building, 250 E. Huron Avenue, Bad Axe, Michigan 48413. The purpose of this meeting and public hearing is to hear comments about and consider the following request described below:

Special Approval Use Permit, SAP 2026-02: David Long, agent for Huron Propane Gas LLC, 7564 Pigeon Road, Pigeon, Michigan, 48755, is requesting zoning approval to construct a new propane delivery business located at 345 S. Main St., Pigeon, Michigan, Section 11 of Winsor Twp. This site was previously approved under SAP 2024-03. Construction has not commenced at this location, so the original approval from 2024 has expired and the owner has also decided to change the size of the proposed office building. The owner intends to build a 26ft. x 46ft. business office, a 32ft. x 70ft. storage building which includes a heated workshop along with unenclosed propane vehicle parking bays, two 30,000-gallon bulk propane storage tanks, a 1000-gallon propane tank filling station, and an area to store propane rental tanks ranging in sizes of 100 to 1,000 gallons each. Parcel I.D. Number 3228-011-003-12 consists of approximately 1.64 acres of General Business (BUS) Zoned land. Under provisions of the Zoning Ordinance of Huron County, Article VII, Section 7.03 Uses Authorized After Special Approval, Subsection Q states wholesale stores, storage facilities, warehouse buildings, and distribution plants are permitted subject to special approval use permit.

The application materials and site plan relative to this request are available for public examination during regular office hours at the Huron County Planning, Building & Zoning Department, Room 102 of the County Building, 250 E. Huron Avenue, Bad Axe, Michigan 48413 or www.co.huron.mi.us. Following the public hearing, the Planning Commission will consider granting a Special Approval Use Permit.

Persons wishing to comment on the proposed special use permit are invited to this meeting. Written comments may be mailed to the Huron County Building & Zoning Department, 250 E. Huron Avenue, Room 102, Bad Axe, Michigan 48413 or sent by fax to 989-269-3362 or email to smithj@co.huron.mi.us. For further information on this matter, please contact Jeff Smith of the Building & Zoning Department at 989-269-9269.

This notice is disseminated pursuant to PA 110 of 2006, being the Michigan Zoning Enabling Act, as amended.

Huron County Planning Commission
Bill Renn, Chairman



SAP 2026-02
HURON PROPANE
GAS DELIVERY
BUSINESS OFFICE,
STORAGE BLDG.
AND (2) 30,000
GALLON LP TANKS
& TANK RENTALS

345 S. MAIN ST., PIGEON
SEC 11 WINSOR TWP.
PREVIOUSLY APPROVED
UNDER SAP2024-03




Map Publication:
01/15/2026 11:51 AM



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FetchGIS 

Parcel Buffer

-  Buffer
-  Buffer Affected Parcel

**HURON COUNTY PLANNING COMMISSION
APPLICATION FOR SPECIAL APPROVAL PERMIT**

\$800.00 Application Fee Regular Meeting

\$1,200.00 Application Fee Special Meeting Rev. 01/2025

Date: 11/11/2025

PROJECT NO.: SAP 2026-02

APPLICANT'S NAME: Huron Propane Gas, LLC

ADDRESS: 7564 Pigeon Rd. Pigeon MI 48755 989-453-2472
street city state zip telephone

PROPERTY OWNER'S NAME AND ADDRESS (if different than above):

name

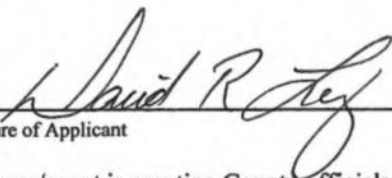
street address city state zip telephone

ADDRESS OF PROPERTY REQUESTED FOR SPECIAL USE PERMIT: 345 S Main St., Pigeon MI 48755

PROPERTY IDENTIFICATION No.: 3228-011-003-12

DESCRIPTION OF PROJECT (ATTACH SITE PLAN, Application will not be accepted without site plan):

See attached description and site plan


Signature of Applicant

11/11/2025
Date

By signing this application, owner/agent is granting County officials the right to on-site inspection of property involved in this request.

PLANNING COMMISSION ACTION:

 APPROVED, AS SUBMITTED;

 APPROVED, WITH THE FOLLOWING MODIFICATIONS: _____

 DENIED, FOR THE FOLLOWING REASON(S): _____

Jeffrey Smith, Director

✓ #1571 \$800.00 Receipt #78102 Date

SAP Permit Application

RECEIVED

DEC 23 2025

HURON COUNTY
BUILDING & ZONING

Special Approval Permit Description

Huron Propane Gas LLC

On November 1st, 2022, Huron Propane Gas LLC acquired the propane business from Active Feed Company and Huron Gas Company. Huron Propane currently rents office space from Active Feed Company at their main office located at 7564 Pigeon Rd. Huron Propane also owns the 30,000-gallon propane tank which is located behind Active Feed's main office. Active Feed agreed to lease office space to Huron Propane until we find a new location for the business.

Huron Propane purchased 1.64 acres of property located at 345 S Main Street from Timothy and Shirley Schuette on July 26, 2024. Huron Propane received approval from the Huron County Planning Commission for our Special Approval Use Permit (SAP 2024-03) on May 1, 2024. This SAP was to construct a new business office, storage building, and propane bulk plant.

Since the SAP has expired and the office building size has changed, we are applying for another SAP.

The office will be 1,196 square feet with dimensions of 26'x46'. The pole barn will remain the same size at 32'x70'. There will only be one driveway instead of the original two, since MDOT would not approve two driveways for the property.

We plan to have three employees who will help customers out of this office. We plan to relocate a propane filling station currently at Long's Propane in Caro to the new location. The filling station includes a 1,000-gallon propane tank and a small cabinet, which is how we refill propane cylinders and motorhome tanks. The propane filling station and two 30,000-gallon bulk tanks will be enclosed in a fenced area with two gates which will be kept locked when the office is not open. The pole barn will include a heated workshop along with four open bays for our propane delivery and service trucks. We will also have an area near the 30,000-gallon storage tanks where we will store propane rental tanks which range in sizes of 100-gallon to 1,000-gallon. On average, we try to keep at least a dozen tanks on hand.

The driveway and parking area will be asphalt while the area inside the fence will be gravel.

The permits for the 30,000-gallon propane tanks and the propane filling station are issued by the Michigan Department of Licensing and Regulatory Affairs (LARA). To comply with LARA's regulations, the 30,000-gallon tanks will need to be installed at least 50' from the property lines.

Zoning Ordinance of Huron County, Michigan December 1, 2010
ARTICLE VIII. IND. GENERAL INDUSTRIAL DISTRICT Continued.

SECTION 8.09 GENERAL PERFORMANCE STANDARDS continued.

B. Gases- No gas shall be emitted which is detrimental to the public health, safety and general welfare.

C. Glare and Heat- Glare and heat from arc welding, acetylene torch cutting, or similar processes shall be performed so as not to have an adverse effect outside of the property.

D. Fire and Safety Hazards- The storage and handling of flammable liquids, liquefied petroleum gases, and explosives shall comply with state rules and regulations as established by Public Act 207 of 1941, as amended.

ARTICLE IX. HURON COUNTY - SCHEDULE OF REGULATIONS.
 LIMITATIONS FOR HEIGHT, AREA, BULK AND PLACEMENT BY
 ZONING DISTRICT

SECTION 9.01 SCHEDULE OF REGULATIONS; LIMITATIONS FOR HEIGHT, AREA, BULK AND PLACEMENT.

REFER TO SECTION 14.17 LAND DIVISIONS AND ACCESS REQUIREMENTS

Zoning District	Lot Width (minimum) Feet	Lot Area (minimum) Sq. Ft.	Lot Coverage (Maximum) Percent	Height of Buildings (maximum) Stories/Ft.	Yard Requirements, Unobstructed (minimum)- Feet.				Floor Area per Dwelling (Grd. fl)
					Sides				
					Least Front	Total One	Two	Rear	
AGR Agriculture	100	1 Acre	15 %	2 ½ 35	45 (b)	20 (b,c)	40 (b)	60 (b)	900 - 14 ft. minimum width.
R-1 & R-2 Single Family Residential	70 (a)	12,250 (a)	25 %	2 ½ 35	25 (b,p)	10 (b,c)	20 (b)	35 (b)	900 R-1: 20 ft. minimum width R-2: 14 ft. minimum width.
RM-1 Multiple Family Residential	(f)(d)		(d)	3 40	50 (e,k)	30 (e,k)	60 (e)	30 (e)	600
BUS General Business	100	½ acre	25 %	3 40 (l)	30 (g)	20 (h,j,k)	40 (i,j)	25 (i,j)	
IND General Industrial	100	1 acre	25 %	40 (l)	50 (m,n)	20 (k,n)	40 (n,o)	40 (n,o)	

ALL NEW DWELLING UNITS SHALL COMPLY WITH PROVISIONS OF SECTION 2.02 A. (42) FOR THE DISTRICT WHERE THE PROPERTY IS LOCATED.

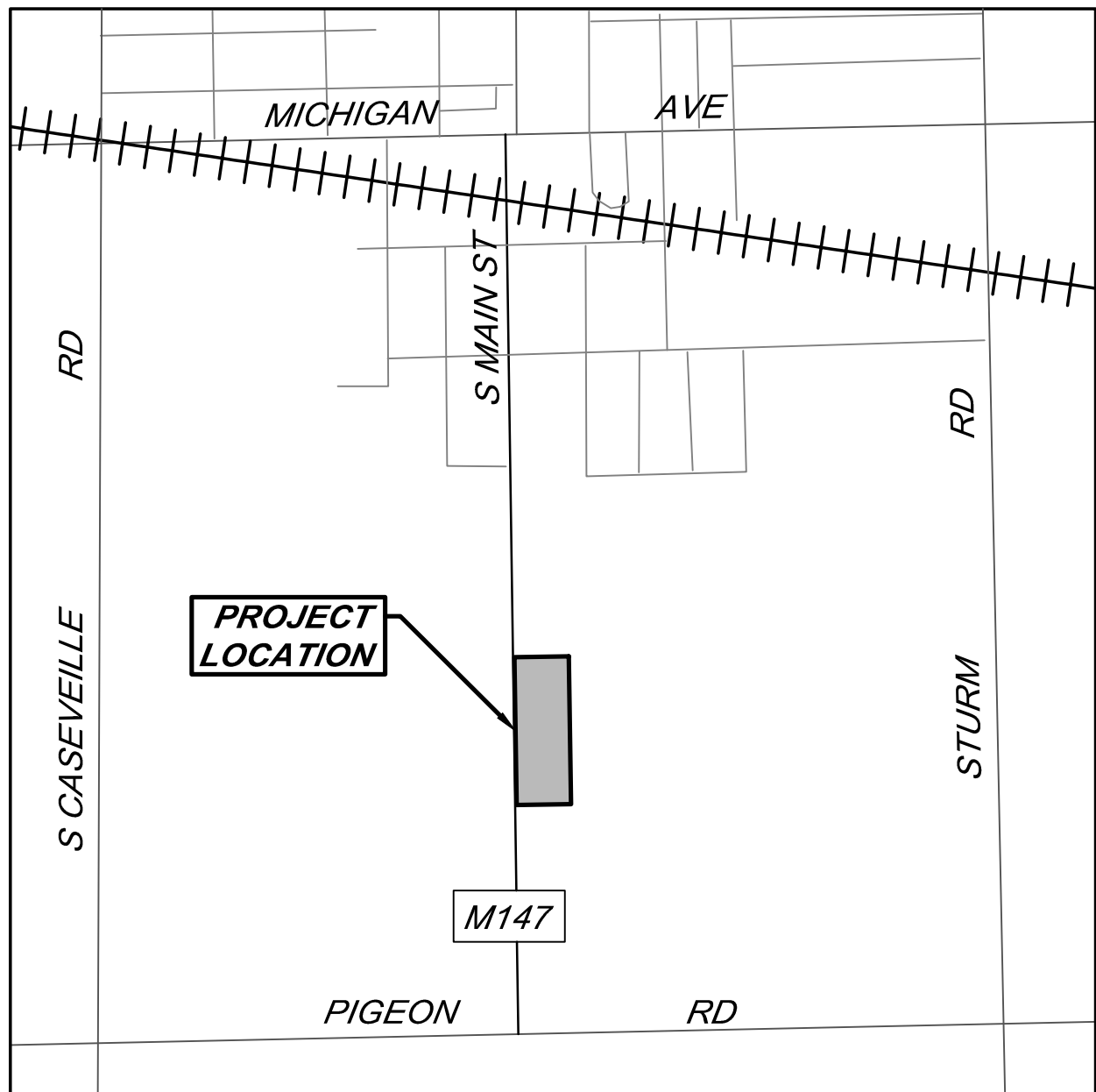
SITE PLAN
HURON PROPANE GAS

345 S. MAIN STREET
PIGEON, MI 48755

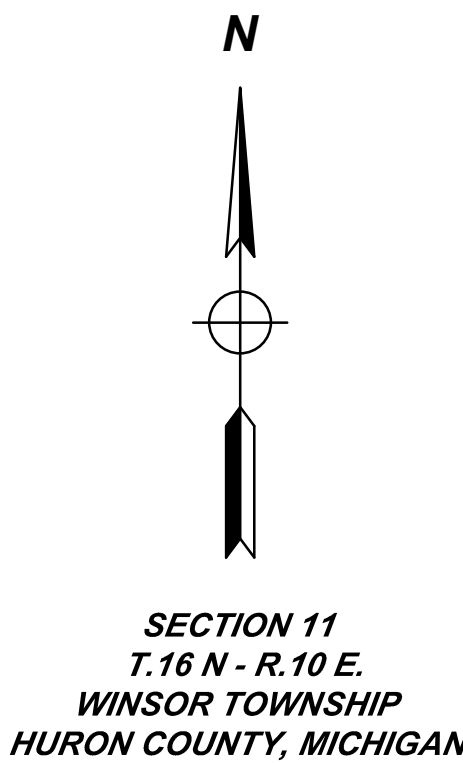
OWNER:
LONG'S PROPANE GAS LLC
2535 S. VAN DYKE ROAD
MARLETTE, MI 48453
TEL. 989-239-7083



AREA MAP
NOT TO SCALE




LOCATION MAP
NOT TO SCALE



SECTION 11
T.16 N - R.10 E.
WINSOR TOWNSHIP
HURON COUNTY, MICHIGAN

PLAN INDEX		
FILE NO.	DESCRIPTION	NO.
D-6436-01	COVER SHEET	1
D-6436-02	NOTE SHEET	2
D-6436-03	DEMOLITION PLAN	3
D-6436-04	SITE PLAN	4
D-6436-05	GRADING PLAN	5
D-6436-06	SITE DETAILS	6
D-6436-07	LANDSCAPE PLAN	7
D-6405-09	TOPOGRAPHIC SURVEY	

CAR		REVISED PER HURON CO. COMMENTS	12-23-25
CAR		REVISED PER OWNER REVIEW	12-1-25
CAR		REVISED PER MDOT REVIEW	11-7-25
BY	MARK	REVISIONS	DATE
THE WORK REPRESENTED BY THIS DRAWING WAS DESIGNED BY THE ENGINEER FOR THIS SPECIFIC APPLICATION AND SPECIFIC LOCATION DESCRIBED HEREON IN ACCORDANCE WITH THE CONDITIONS PREVALENT AT THE TIME THE DESIGN WAS DONE. THE ENGINEER DOES NOT GUARANTEE AND WILL NOT BE LIABLE FOR ANY OTHER LOCATION, CONDITION, DESIGN OR PURPOSE.			
HURON PROPANE GAS, LLC 345 S. MAIN STREET PIGEON, MI 48755			
TITLE SHEET SITE IMPROVEMENTS HURON PROPANE GAS WINSOR TOWNSHIP			
		SAGINAW OFFICE 230 S. Washington Ave. Saginaw, MI 48607 Tel. 989-754-4117 Fax. 989-754-4440 www.SpicerGroup.com	
DE. BY: CAR	CH. BY: LMR	PROJECT NO.	
DR. BY: GPS	APP. BY: BMB	138439SG2025	
STDs.		SHEET 1 OF 7	C 1
DATE: SEPTEMBER 10, 2025		FILE NO.	
SCALE: N/A		D-6436- 2	

NO WORK SHALL BE PERFORMED BEFORE 7:00 AM OR AFTER 7:00 PM MONDAY THROUGH SATURDAY. NO WORK SHALL HAPPEN ON SUNDAYS OR HOLIDAYS, UNLESS AUTHORIZED BY THE OWNER.

CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS PRIOR TO START OF CONSTRUCTION, CONSTRUCTION STAKING AND INSPECTION.

CONTRACTOR SHALL MAINTAIN ACCESS FOR MAIL DELIVERY AND GARBAGE PICKUP AT ALL PARCELS. IF THESE SERVICES CANNOT BE PERFORMED, CONTRACTOR IS RESPONSIBLE FOR TAKING THE NECESSARY MEASURES TO CARRY THEM OUT.

COORDINATE DRIVE CLOSURES AND MAIL BOX RELOCATION WITH LANDOWNERS A MINIMUM OF ONE DAY IN ADVANCE.

CONTRACTOR TO PROVIDE DUST CONTROL AND SWEEP ROADS DAILY.

ALL EXCAVATED MATERIAL, NOT TO BE REUSED OR DISPOSED OF ON SITE SHALL BE REMOVED FROM SITE. THE CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF MATERIALS ACCORDING TO LOCAL AND STATE REQUIREMENTS.

UNDERGROUND UTILITIES/MISS DIG
FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 174, 2013, THE CONTRACTOR SHALL DIAL 1-800-482-7171 OR 811 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS, PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL, THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

THE EXISTING UTILITIES ON THESE DRAWINGS HAVE BEEN SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND SHALL NOTIFY THE ENGINEER AS TO WHERE POSSIBLE CONFLICT EXISTS.

ALL CONSTRUCTION UNDER EXISTING UTILITIES, INCLUDING HOUSE SERVICES, SHALL BE COMPLETELY BACKFILLED WITH SAND, IN 12" LAYERS, AND COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM UNIT WEIGHT.

ANY UTILITIES ENCOUNTERED DURING CONSTRUCTION SHALL BE SUPPORTED, PER THE SPECIFICATIONS OF THE INDIVIDUAL UTILITY COMPANY CLAIMING OWNERSHIP OF THE UTILITY.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES
APPROPRIATE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO EARTH-DISTURBING ACTIVITIES. PLACE TURF ESTABLISHMENT ITEMS AS SOON AS POSSIBLE ON POTENTIAL ERODABLE SLOPES AS DIRECTED BY OWNER. CRITICAL DITCH GRADES SHALL BE PROTECTED WITH EITHER SOD, SEED/MULCH, OR SEED/MULCH BLANKET AS DIRECTED BY OWNER.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE AND MAINTAINED UNTIL THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MEASURES SHALL ONLY BE PAID FOR ONCE.

ALL CATCHBASINS AND SEDIMENTATION TRAPS/BASINS SHALL BE CLEANED OUT UPON COMPLETION OF THE PROJECT.

CONTRACTOR SHALL CONFORM TO SOIL EROSION AND SEDIMENTATION CONTROL ACT, PART 91 OF ACT 451 OF 1994.

PROPERTY OWNERS
PROPERTY OWNERS' NAMES, WHERE SHOWN, ARE FOR INFORMATION ONLY, AND THEIR ACCURACY IS NOT GUARANTEED.

ADJUSTING MONUMENT BOXES
ALL GOVERNMENT CORNERS ON THIS PROJECT SHALL BE PRESERVED, WHETHER SHOWN OR NOT. IT MAY BE NECESSARY TO PLACE OR ADJUST MONUMENT BOXES, AS REQUIRED.

TRAFFIC
THE CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES. SIGNAGE MUST BE IN ACCORDANCE WITH THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SHALL BE COORDINATED WITH THE ENGINEER AND GOVERNING ROAD AGENCY. PERMITS MAY BE REQUIRED.

PERMITS
PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED BY THE APPROPRIATE AGENCIES.

CONSTRUCTION PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE APPROPRIATE AGENCIES.

WATER MAIN NOTES
WATER MAIN SHALL HAVE A MINIMUM COVER OF 5'-6" UNLESS OTHERWISE SPECIFIED.

ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE HURON COUNTY HEALTH DEPARTMENT.

THE CONTRACTOR SHALL SECURE ALL MECHANICAL JOINT FITTINGS WITH RETAINERS GLANDS IN ADDITION TO THRUST BLOCKING. RETAINER GLANDS SHALL BE MEGA-LUG AS MANUFACTURED BY EBAA IRON OR APPROVED EQUAL.

WRAP ALL FITTINGS, VALVES, HYDRANTS, AND ALL D.I. PIPE IN 8 MIL POLYETHYLENE SHEET PER AWWA C105.

THE CONCRETE USED FOR BLOCKING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI IN 28 DAYS.

ALL FITTINGS SHALL BE MECHANICAL JOINT.

ALL FERROUS PARTS SHALL RECEIVE A 10 MIL (DMT) COATING OF COAL TAR EPOXY.

SANITARY SEWER NOTES
CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) A MINIMUM OF 3 WORKING DAYS PRIOR TO CONSTRUCTION.

ALL CONSTRUCTION UNDER EXISTING OR PROPOSED PAVEMENT AND FUTURE UTILITIES, INCLUDING HOUSE SERVICES, SHALL BE COMPLETELY BACKFILLED WITH SAND, IN 12' LAYERS, AND COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM UNIT WEIGHT. COST TO BE INCLUDED IN THE UNIT PRICE BID FOR SANITARY SEWER.

ALL SEWER JOINTS SHALL CONFORM TO A.S.T.M. C-425.

ALL SEWER PIPE SHALL CONFORM TO A.S.T.M. C-700.

INFILTRATION SHALL NOT EXCEED 100 GAL./INCH DIA./MILE/DAY.

ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE HURON COUNTY HEALTH DEPARTMENT.

THE EXISTING UTILITIES ON THESE DRAWINGS HAVE BEEN SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND SHALL NOTIFY THE ENGINEER AS TO WHERE POSSIBLE CONFLICTS EXIST.

ABBREVIATIONS

BC = BACK OF CURB
BM = BENCH MARK
C/C = CENTER TO CENTER
CB = CATCH BASIN
CL = CENTERLINE
CJ = CONSTRUCTION JOINT
CMP = CORRUGATED METAL PIPE
CSP = CORRUGATED STEEL PIPE
CONC = CONCRETE
DI = DUCTILE IRON PIPE
EF = EACH FACE
ELEC = ELECTRIC
EL OR ELEV = ELEVATION
EOM = EDGE OF METAL
EOP = EDGE OF PAVEMENT
EQSP = EQUALLY SPACED
ESMT = EASEMENT
EW = EACH WAY
EX OR EXIST = EXISTING
FF = FINISH FLOOR
FL = FLOW LINE
FS = FINISH SURFACE
FG = FINISH GROUND
GALV = GALVANIZED
G = GUTTER
HDG = HOT DIP GALVANIZED
HDPE = HIGH DENSITY POLYETHYLENE
HP = HIGH POINT
HMA = HOT MIX ASPHALT
HYD = HYDRANT
INV = INVERT
LP = LOW POINT
OC = ON CENTER
OH = OVERHEAD
MH = MANHOLE
MIN = MINIMUM
MON = MONUMENT
NFL = NOT FIELD LOCATED
NTS = NOT TO SCALE
PROP = PROPOSED
PVC = POLYVINYL CHLORIDE
RCP = REINFORCED CONCRETE PIPE
ROW = RIGHT OF WAY
SAN = SANITARY
SB = SOIL BORING
SS = STAINLESS STEEL
STA = STATION
STM = STORM
SWR = SEWER
T/B = TOP AND BOTTOM
TO = TOP OF CURB
TOB = TOP OF BANK
TOS = TOE OF SLOPE
TELE = TELEPHONE
TRW = TOP OF RETAINING WALL
TW = TOP OF WALK
UNO = UNLESS NOTED OTHERWISE
WM = WATER MAIN
WS = WATER SURFACE ELEVATION

LINE TYPE LEGEND

--- CTV ---
- CABLE TV
- PROPOSED UTILITY
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- FENCE LINE
- OVERHEAD UTILITY
- RAILROAD TRACKS
- STATION LINE
- LIMITS OF RIGHT OF WAY
- EASEMENT
- SILT FENCE
- REVERSE PAN CURB & GUTTER
- TREE LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS

SYMBOL LEGEND EXISTING SYMBOLS

○ - MANHOLE
⊗ - CATCH BASIN
⊠ - CURB CATCH BASIN
⊙ - FIRE HYDRANT
⊕ - GAS VALVE
⊖ - WATER VALVE
□ - TELEPHONE PEDESTAL
⬤ - POWER POLE
⊡ - TELEPHONE POLE
⬤ - POWER AND TELEPHONE POLE
⚡ - LIGHT POLE
⊙ - GUY ANCHOR AND POLE
⊠ - MAIL BOX
⊠ - WATER METER
⊙ - TELEPHONE MANHOLE
⊕ - ELECTRIC MANHOLE
⊙ - MONITORING WELL
⊕ - HAND HOLE
⊠ - TRANSFORMER
⬤ - ELECTRICAL PEDESTAL
⊠ - BARRIER FREE PARKING
⬤ - SPRINKLER
⊠ - RAILROAD SIGNAL
⊠ - ANTENNA
⊠ - SATELLITE DISH
⊠ - AIR CONDITIONING UNIT
⊠ - SOIL BORING
⬤ - BENCH MARK
⊙ - FOUND SURVEY CORNER
○ - SET 1/2" IRON ROD
⬤ - 1/4 SECTION CORNER
⊠ - BREAK IN LINE
⊠ - EXISTING SIGN-1 POST
⊠ - EXISTING SIGN-2 POST
⊠ - STUMP
⊠ - WETLANDS
⊠ - PINE
⊠ - BUSH
⊠ - TREE

PROPOSED SYMBOLS


○ - MANHOLE
⊠ - CATCHBASIN
⊙ - FIRE HYDRANT
⊕ - WATER VALVE
⊠ - BARRIER FREE PARKING
⊠ - LIGHT POLES
⊠ - DRAINAGE FLOW
⊠ - SPOT ELEVATION LABELS
G = GUTTER
TW = WALK
TO = TOP OF CURB
FS = FINISH SURFACE

MICHIGAN ASSOCIATION OF COUNTY DRAIN COMMISSIONERS SOIL EROSION AND SEDIMENTATION CONTROL KEYING SYSTEM

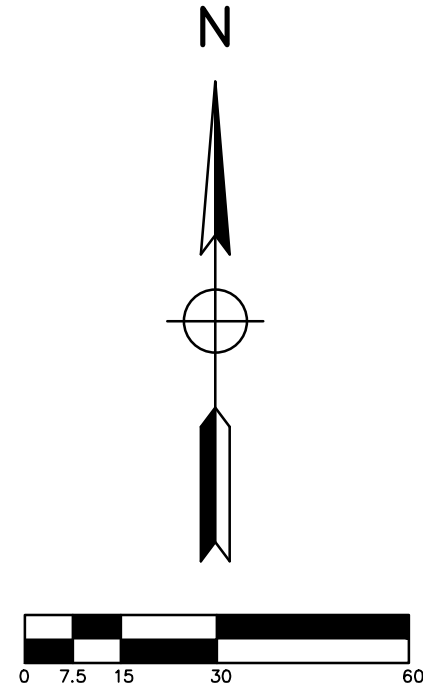
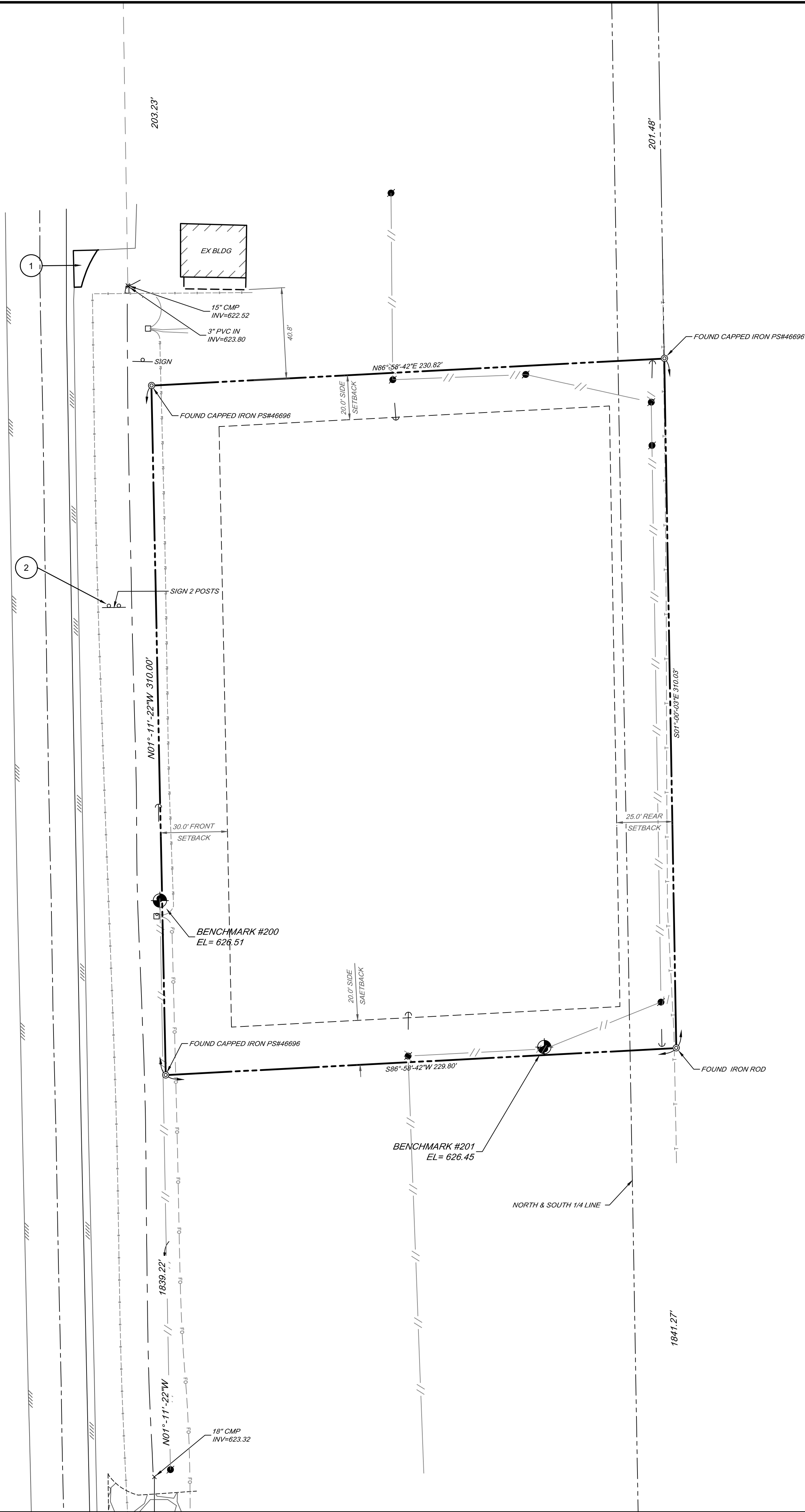
KEY	SESC MEASURE	SYMBOL	WHERE USED
1	SEEDING		When bare soil is exposed, temporarily or permanently, to erosive forces from wind and/or water on flat areas, mild slopes, grassed roadways and pathways, diversion ditches and dikes, borrow and stockpile areas, and spoil piles.
7	STORM DRAIN INLET PROTECTION		Around the entrance to a newly constructed catch basin or an inlet that will capture runoff from an earth change activity.

DETAILED DRAWINGS AND SPECIFICATIONS ARE LOCATED IN THE MICHIGAN ASSOCIATION OF COUNTY DRAIN COMMISSIONERS SOIL EROSION AND SEDIMENTATION CONTROL AUTHORIZED PUBLIC AGENCY PROCEDURES MANUAL

⊕ = PERMANENT MEASURE
⊕ = TEMPORARY MEASURE

CAR		REVISED PER HURON CO. COMMENTS	12-23-25
CAR		REVISED PER OWNER REVIEW	12-1-25
CAR		REVISED PER MDOT REVIEW	11-7-25
BY	MARK	REVISIONS	DATE
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<div>HURON PROPANE GAS, LLC</div> <div>345 S. MAIN STREET</div> <div>PIGEON, MI 48755</div>			
<div>NOTES</div> <div>SITE IMPROVEMENTS</div> <div>HURON PROPANE GAS</div> <div>WINSOR TOWNSHIP</div>			
		<div>SAGINAW OFFICE</div> <div>230 S. Washington Ave.</div> <div>Saginaw, MI 48607</div> <div>Tel. 989-754-4117</div> <div>Fax. 989-754-4440</div> <div>www.SpicerGroup.com</div>	
DE. BY:	CAR	CH. BY:	LMR
DR. BY:	GFS	APP. BY:	BMB
		<div>PROJECT NO.</div> <div>138439SG2025</div>	
STDs.		SHEET 2 OF 7	<div>C</div> <div>2</div>
DATE SEPTEMBER 10, 2025			
SCALE N/A		FILE NO.	
		D-6436- 2	

PIGEON RD. M-142



SECTION 11
T.16 N. - R.10 E.
WINSOR TOWNSHIP
HURON COUNTY, MICHIGAN

DEMOLITION NOTES

1. PROTECT TREES, PLANT GROWTH, AND FEATURES DESIGNATED TO REMAIN, AS FINAL LANDSCAPING.
2. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE THE TAGGING OF SPECIFIC TREES/SHRUBS TO BE PRESERVED PRIOR TO BEGINNING DEMOLITION.
3. REMOVE TREES AND SHRUBS WITHIN LIMITS OF CONSTRUCTION AS NOTED. REMOVE STUMPS, MAIN ROOT BALL, ROOT SYSTEM TO A DEPTH OF 12 INCHES AND SURFACE ROCK.
4. CLEAR AREAS REQUIRED FOR ACCESS TO SITE AND EXECUTION OF WORK.
5. REMOVE NOTED WALLS, FOUNDATIONS, PAVING, CURBS, AND SIDEWALKS.
6. SAWCUT ALL PAVEMENT, CURBS AND WALKS NOTED FOR REMOVAL FOR A CLEAN EDGE.
7. REMOVE ALL CLEARED ITEMS FROM SITE AND PROPERLY DISPOSE OF.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR SEEDING ALL DISTURBED AREAS.

DEMOLITION ITEMS

1. REMOVE EXISTING ASPHALT.
2. REMOVE/RELOCATE DOUBLE-POST PARKING SIGN.

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BY	MARK	REVISIONS	DATE

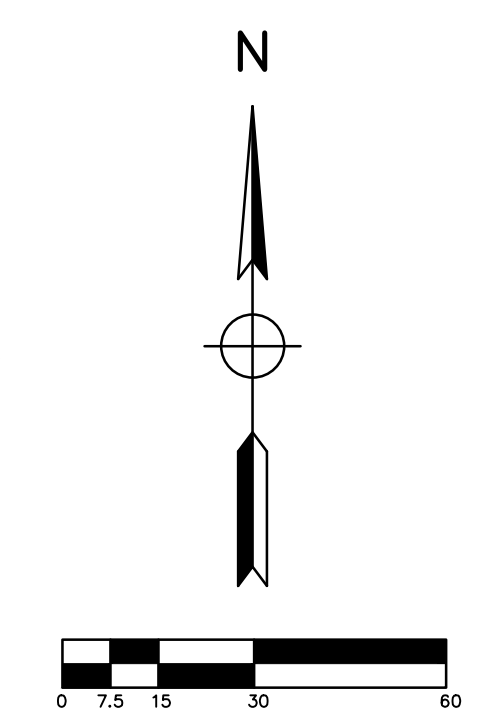
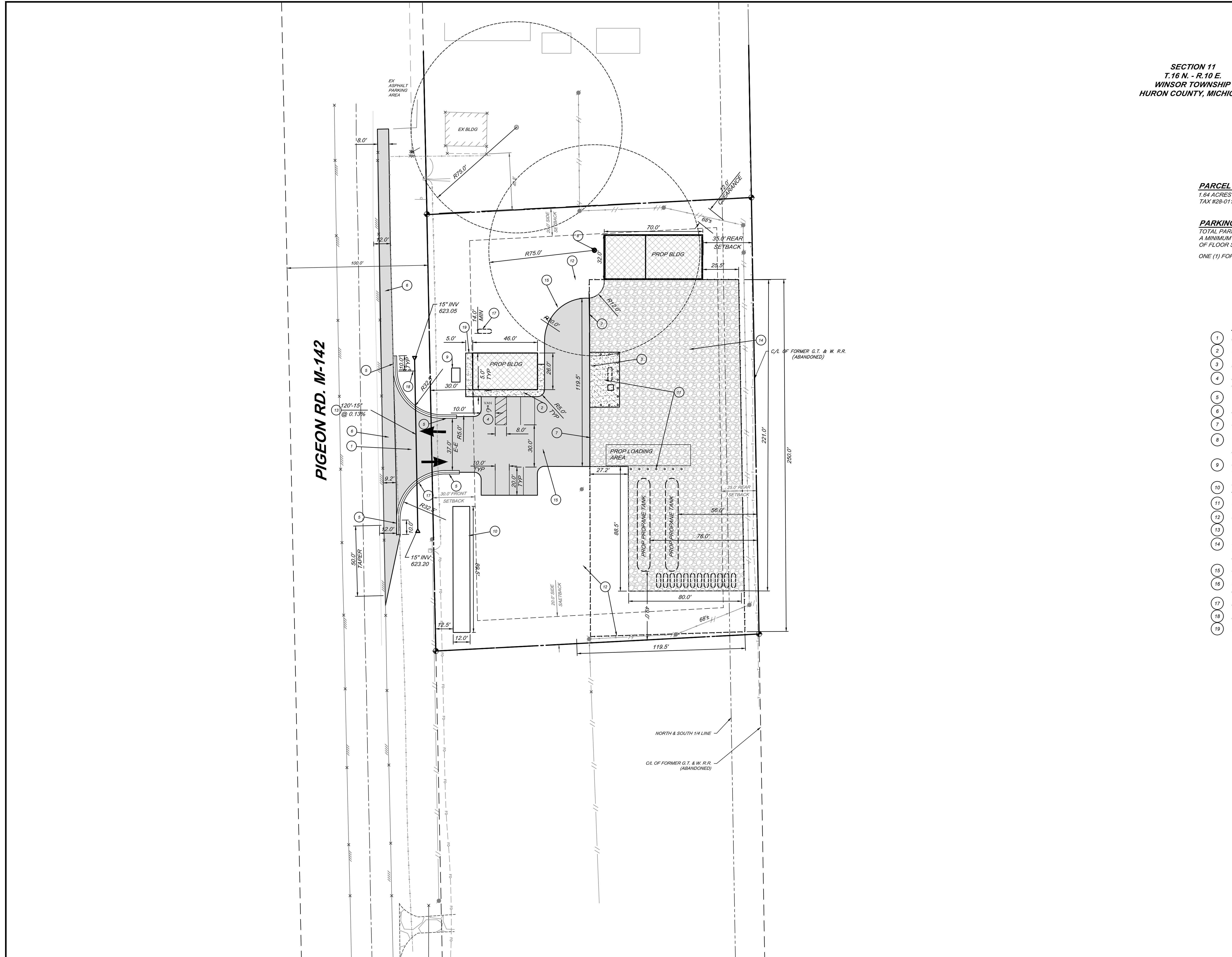
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HURON PROPANE GAS, LLC
345 S. MAIN STREET
PIGEON, MI 48755

DEMOLITION PLAN
SITE IMPROVEMENTS
HURON PROPANE GAS
WINSOR TOWNSHIP

Spicer group
SAGINAW OFFICE
230 S. Washington Ave.
Saginaw, MI 48607
Tel: 989-754-4117
Fax: 989-754-4440
www.SpicerGroup.com

DE. BY: CAR	CH. BY: LMR	PROJECT NO.
DR. BY: GPS	APP. BY: BMB	138439SG2025
STDs.	SHEET 3 OF 7	C
DATE: SEPTEMBER 10, 2025	FILE NO.	3
SCALE: 1"=30'	D-6436- 3	



SECTION 11
T.16 N. - R.10 E.
WINSOR TOWNSHIP
HURON COUNTY, MICHIGAN

PARCEL DATA
1.64 ACRES
TAX #28-011-003-01

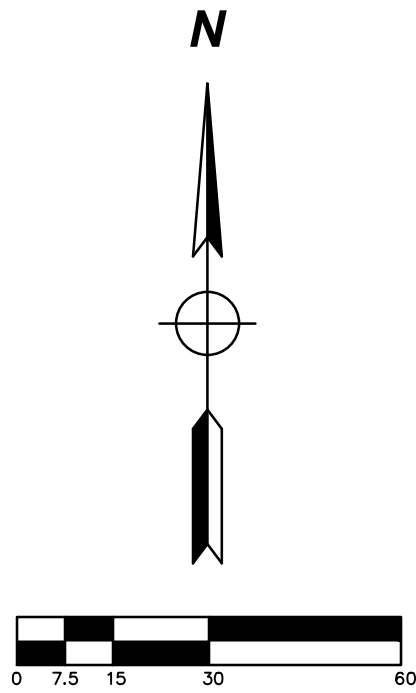
PARKING
TOTAL PARKING SPACES REQUIRED:
A MINIMUM ONE (1) FOR EVERY ONE THOUSAND (1,000) SQUARE FEET OF FLOOR SPACE.
ONE (1) FOR EVERY 1,000 SQ. FT. - 3440 SF/1,000 = 4 SPACES

PARKING SPACES REQUIRED = 4 SPACES
PARKING SPACES PROVIDED = 7 SPACES

- CONSTRUCTION NOTES:**
- 1 DRIVE OPENING, DETAIL M, PER MDOT STANDARD PLAN R-29-I.
 - 2 CONCRETE WALK WITH INTEGRAL CURB, SEE DETAIL SHEET C6.
 - 3 21"x38" STANDARD CONCRETE SLAB, SEE DETAIL SHEET C6.
 - 4 BARRIER FREE SIGN PER MDOT STANDARD HIGHWAY SIGN R7-8, R7-8P.
 - 5 TAPER CURB DOWN IN LAST 10 FEET.
 - 6 MDOT R/W ASPHALT PAVEMENT, SEE DETAIL SHEET C6.
 - 7 30' CANTILEVER GATE W/ 24' OPENING.
 - 8 WELL LOCATION WITH 75' SEPARATION FROM ALL SEPTIC TANK/FIELDS. TO BE COORDINATED WITH THE HURON COUNTY HEALTH DEPARTMENT.
 - 9 SEPTIC TANK LOCATION - DESIGN AS REQUIRED BY THE HURON COUNTY HEALTH DEPARTMENT.
 - 10 SEPTIC FIELD LOCATION WITH 75' MIN SEPARATION FROM NEW WELL AND 10' MIN SEPARATION FROM PROPERTY LINE.
 - 11 CONCRETE REINFORCED BOLLARDS, SEE DETAIL SHEET C6.
 - 12 6" HIGH CHAIN LINK FENCING.
 - 13 15" N-12 CULVERT WITH RODENT GUARD AND FLARED END SECTION.
 - 14 GRAVEL PARKING LOT - 8" CLASS II GRANULAR SAND SUBBASE COMPACTED TO 95% DENSITY. COVER WITH 8" THICK 22A CRUSHED LIMESTONE COMPACTED TO 95% DENSITY.
 - 15 STANDARD ASPHALT PAVEMENT, SEE DETAIL SHEET C6.
 - 16 CONCRETE CURB AND GUTTER - ROLLED STANDARD PAN, SEE DETAIL SHEET C6.
 - 17 PROPANE TANK.
 - 18 RELOCATED PARKING SIGN.
 - 19 CONCRETE SIDEWALK.

CAR		REVISED PER HURON CO. COMMENTS	12-23-25
CAR		REVISED PER OWNER REVIEW	12-1-25
CAR		REVISED PER MDOT REVIEW	11-7-25
BY	MARK	REVISIONS	DATE
THE WORK REPRESENTED BY THIS DRAWING WAS DESIGNED BY THE ENGINEER FOR THIS SPECIFIC APPLICATION AND SPECIFIC LOCATION DESCRIBED HEREON IN ACCORDANCE WITH THE CONDITIONS PREVALENT AT THE TIME THE DESIGN WAS DONE. THE ENGINEER DOES NOT GUARANTEE AND WILL NOT BE LIABLE FOR ANY OTHER LOCATION, CONDITION, DESIGN OR PURPOSE.			
HURON PROPANE GAS, LLC 345 S. MAIN STREET PIGEON, MI 48755			
SITE PLAN SITE IMPROVEMENTS HURON PROPANE GAS WINSOR TOWNSHIP			
		SAGINAW OFFICE 230 S. Washington Ave. Saginaw, MI 48607 Tel. 989-754-4717 Fax. 989-754-4440 www.SpicerGroup.com	
DE. BY:	CAR	CH. BY:	LMR
DR. BY:	GPS	APP. BY:	BMB
PROJECT NO. 138439SG2025			
STDs.		SHEET	4 OF 7
DATE	SEPTEMBER 10, 2025	FILE NO.	D-6436- 4
SCALE	1"=30'		4

SECTION 11
T.16 N. - R.10 E.
WINSOR TOWNSHIP
HURON COUNTY, MICHIGAN



IMPERVIOUS NOTE

EXISTING IMPERVIOUS AREA = 0 S.F.

PROPOSED IMPERVIOUS AREA = 35559 S.F.

DIFFERENCE IN AREA = 35559 S.F.

BENCHMARKS

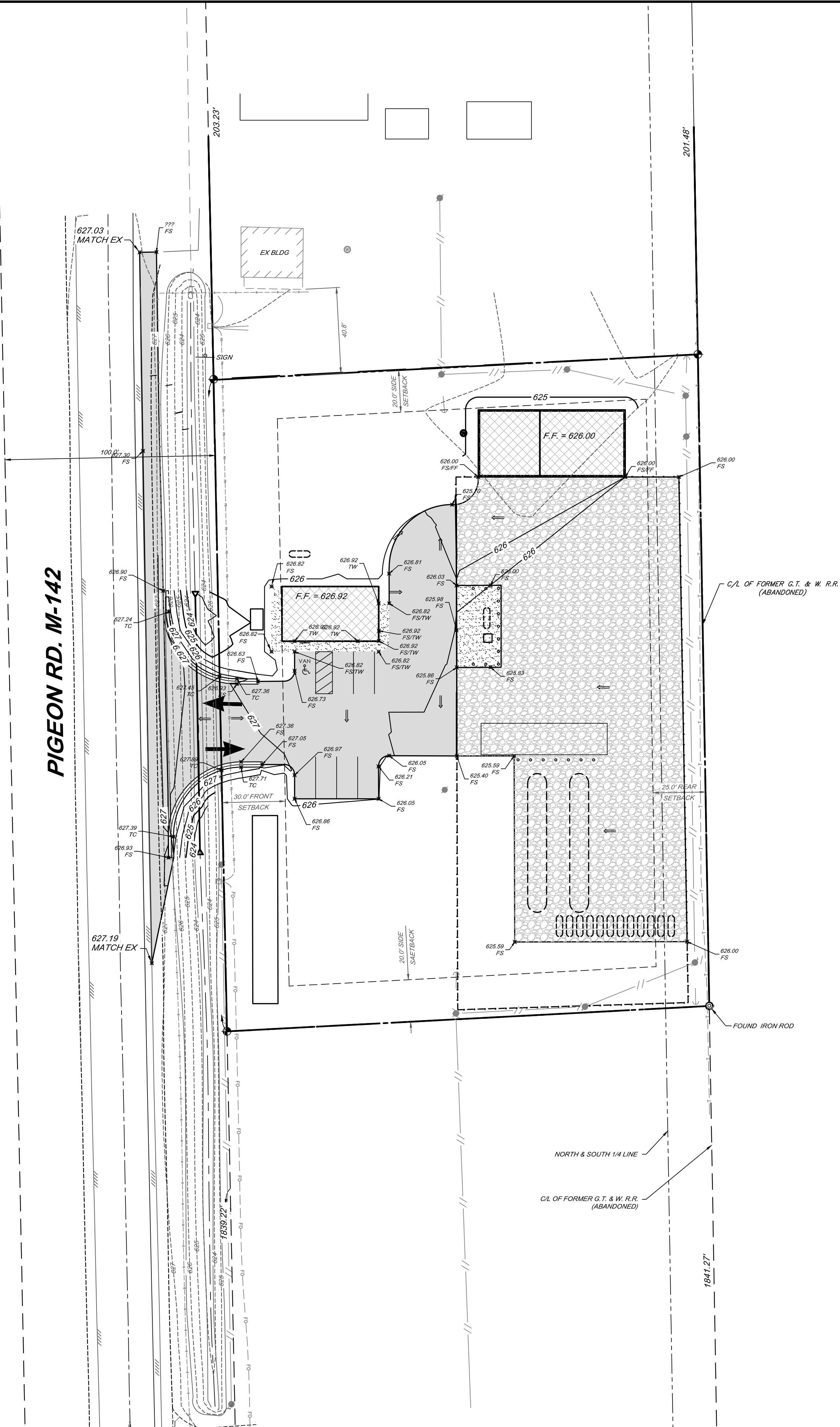
BM 200 - Set gear spike in S face of wood power pole on East side of M-142 between Oshtoski Equipment and 'Pigeon Village Limit' sign ±50' East of M-142 centerline, ±115' South of 'No Parking On Any Street 2am - 6am' sign.


Elev: 626.51 (NAVD88)

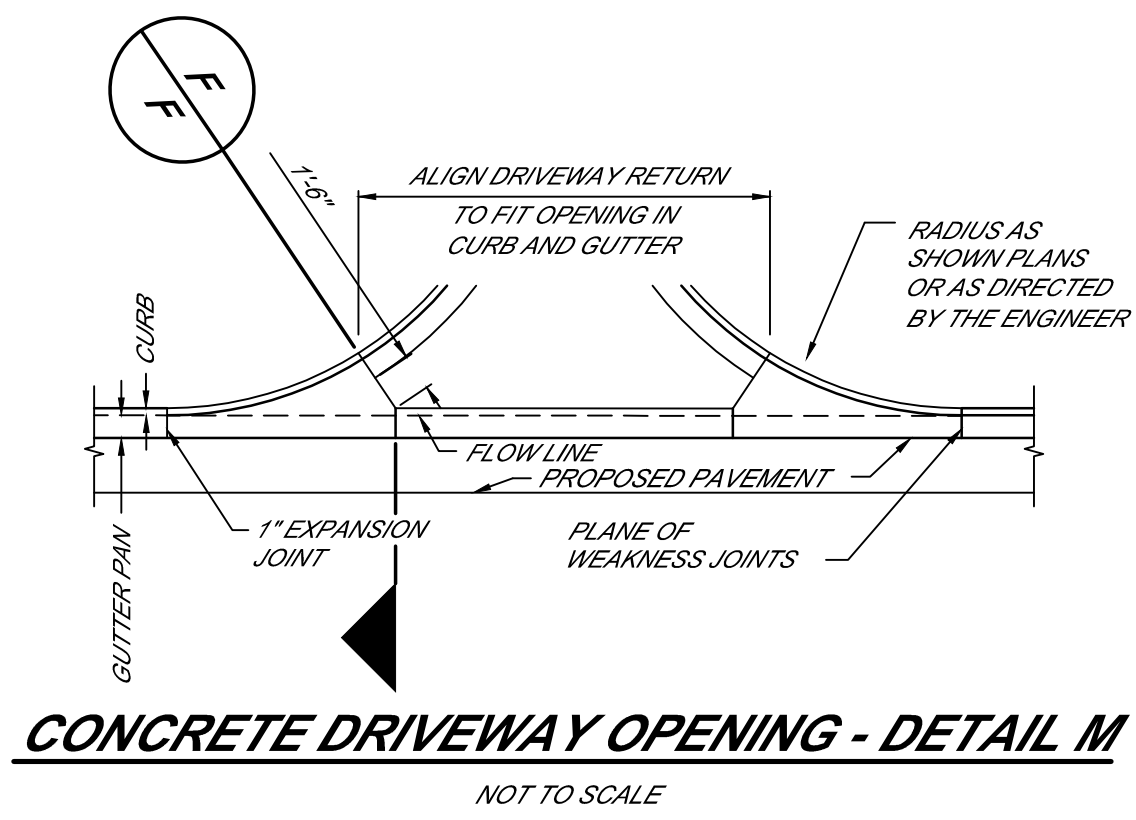
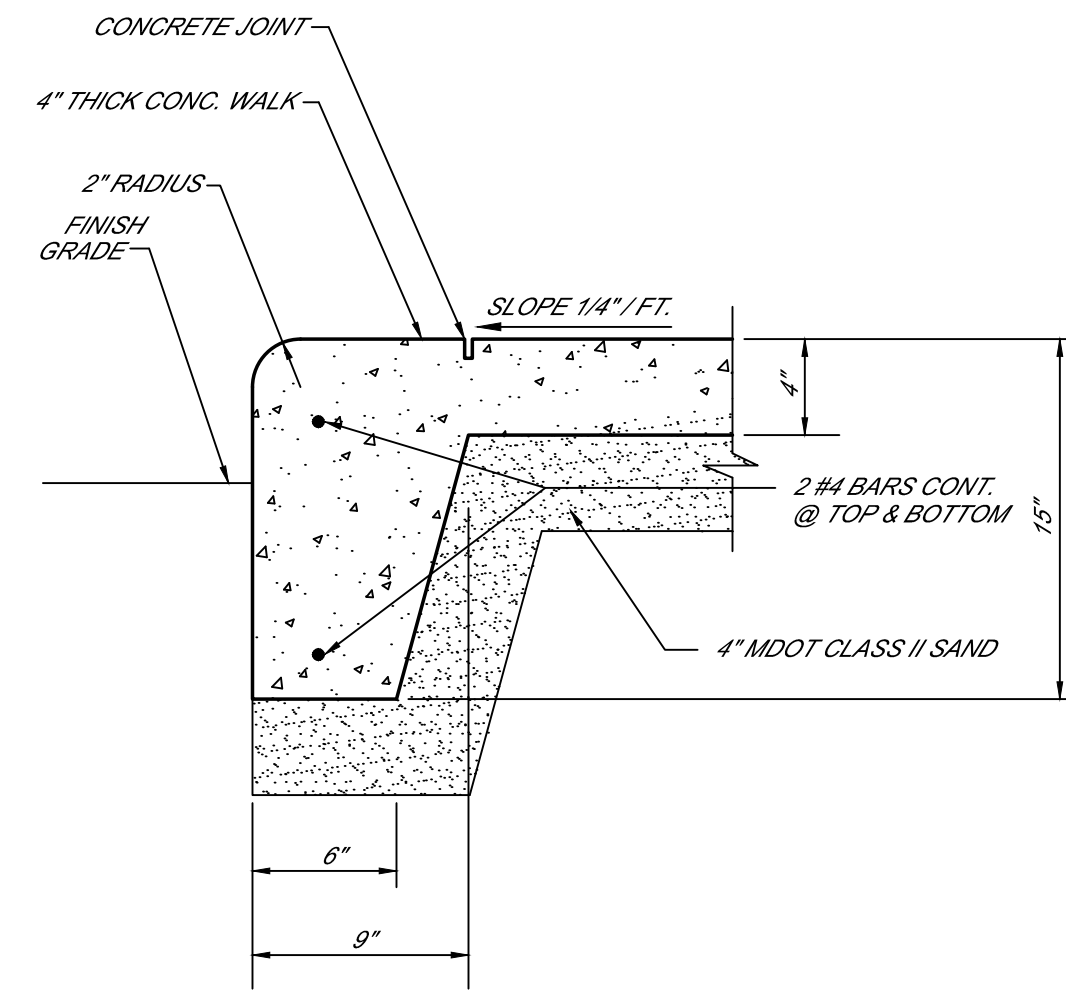
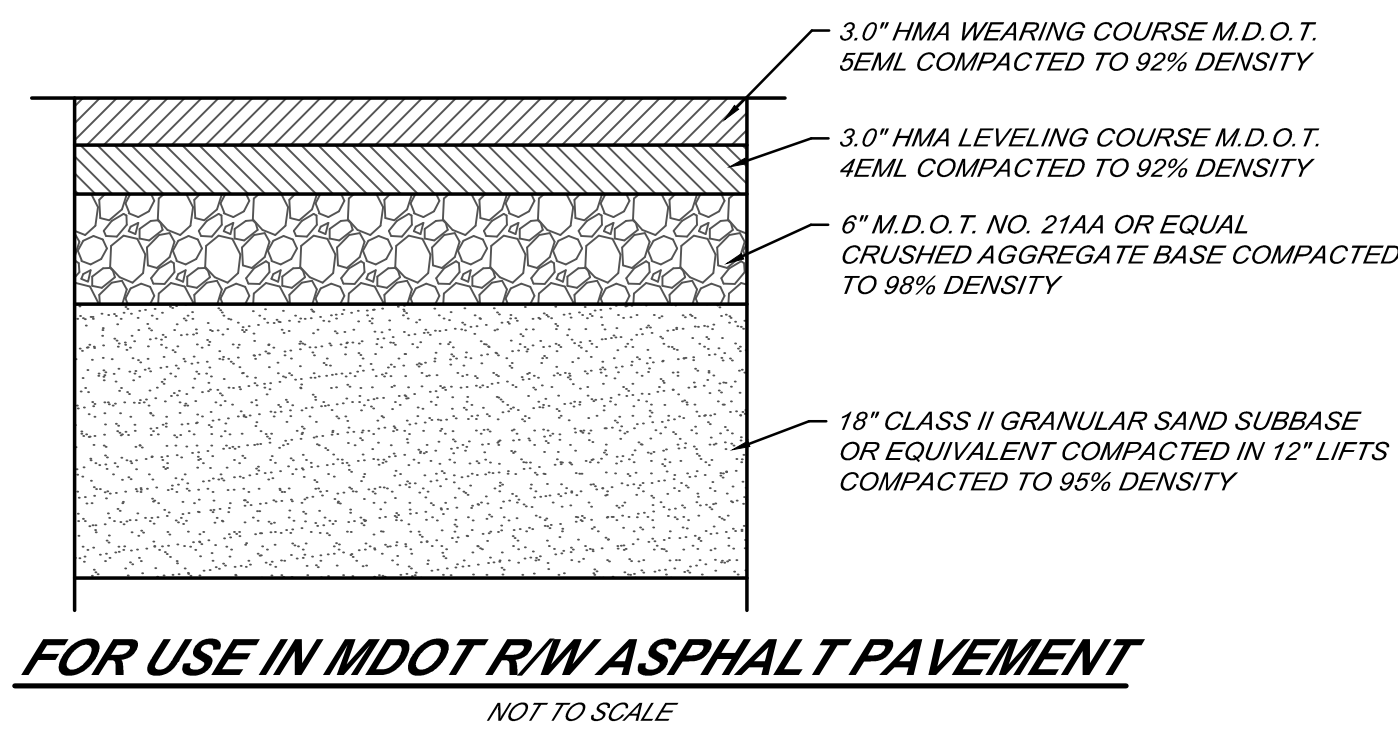
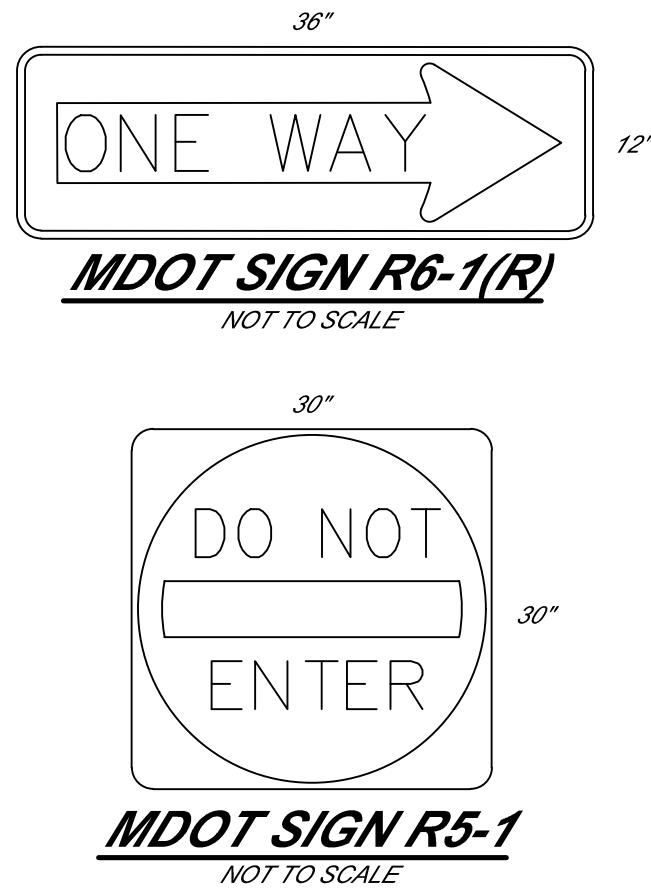
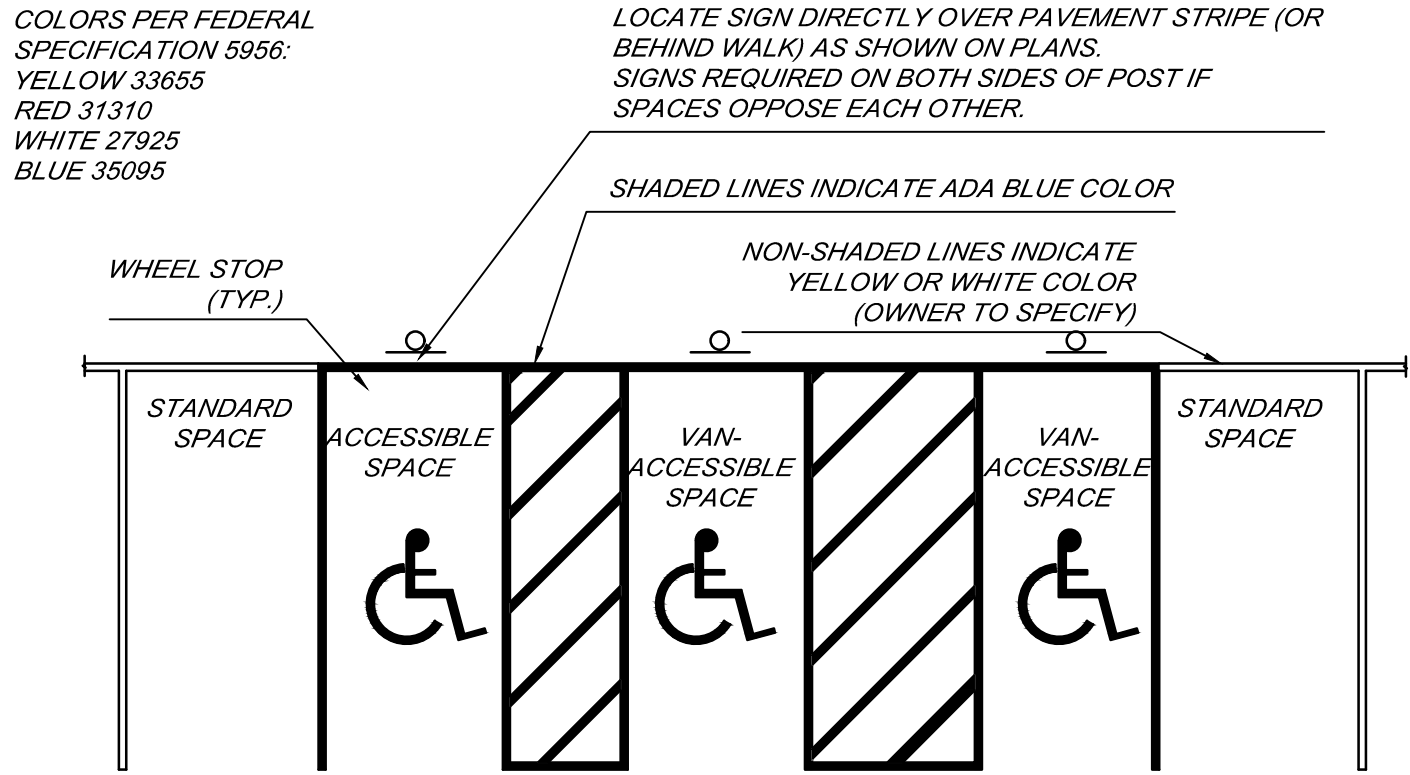
BM 201 - Set gear spike in North face of middle wood power pole located on South side of future construction site ±55' East of Western-most power pole, ±50' Southwest of Eastern-most power pole.

Elev: 626.45 (NAVD88)

PIGEON RD. M-142



CAR	REVISED PER HURON CO. COMMENTS	12-23-25
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BY	MARK	REVISIONS
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HURON PROPANE GAS, LLC 345 S. MAIN STREET PIGEON, MI 48755		
GRADING PLAN SITE IMPROVEMENTS HURON PROPANE GAS WINSOR TOWNSHIP		
		
SAGINAW OFFICE 230 S. Washington Ave. Saginaw, MI 48607 Tel. 989-754-4717 Fax. 989-754-4440 www.SpicerGroup.com		
DE. BY: CAR	CH. BY: LMR	PROJECT NO.
DR. BY: GPS	APP. BY: BMB	138439SG2025
STDs.	SHEET 5 OF 7	C
DATE SEPTEMBER 10, 2025	FILE NO.	5
SCALE 1" = 30'	D-6436-5	



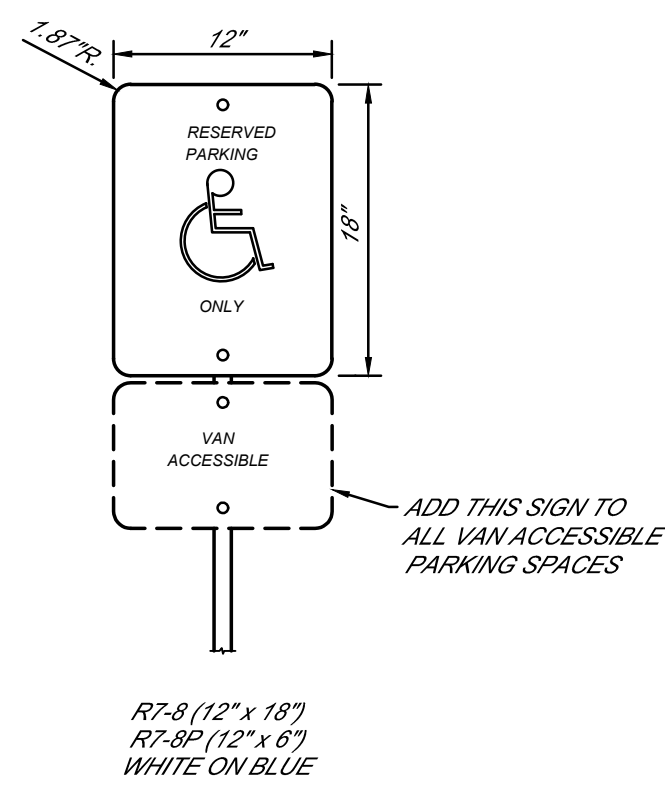
VAN ACCESSIBLE SPACES SHALL BE ADJACENT TO 8" WIDE NO-PARKING AREAS AND SHALL INCLUDE AN ADDITIONAL SIGN READING "VAN ACCESSIBLE". SEE SIGN DETAILS.

LINES SHALL BE 4" WIDE, WATERBORNE-TYPE PAINTED STRIPES. MATERIALS SHALL BE AS APPROVED BY MDOT.

SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION WITHIN THE ACCESSIBLE PARKING SPACE OR LOADING AREA.

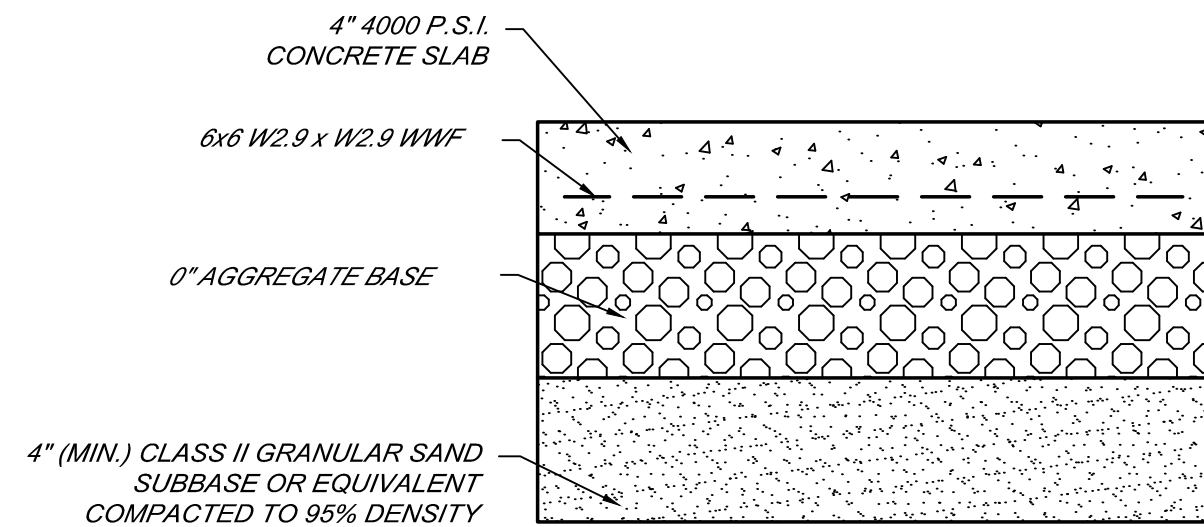
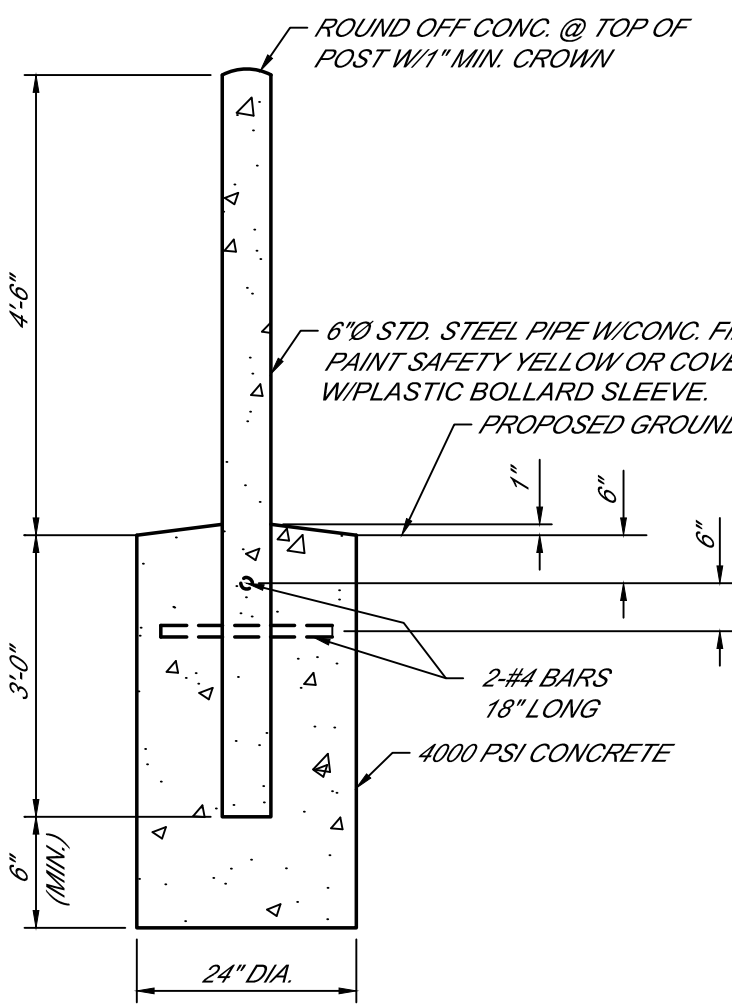
PARKING SPACES DETAIL

NOT TO SCALE



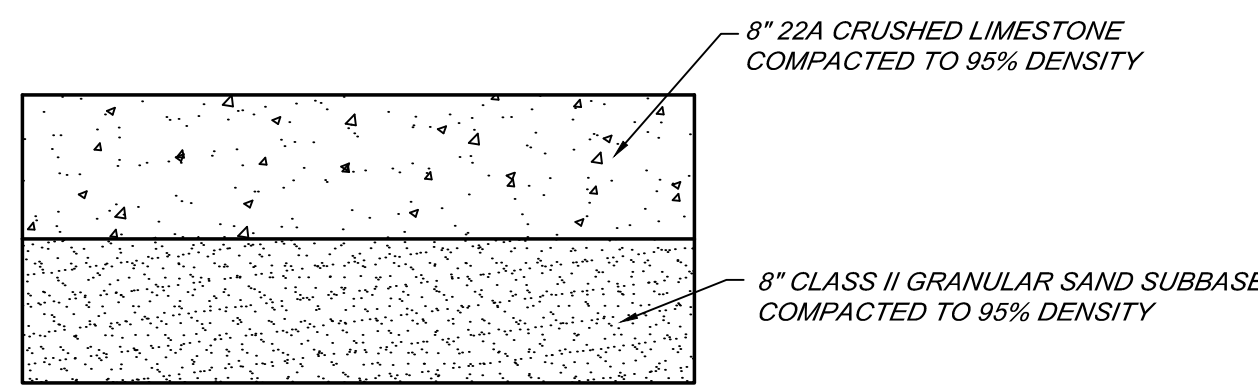
SIGN FACE DETAILS

NOT TO SCALE



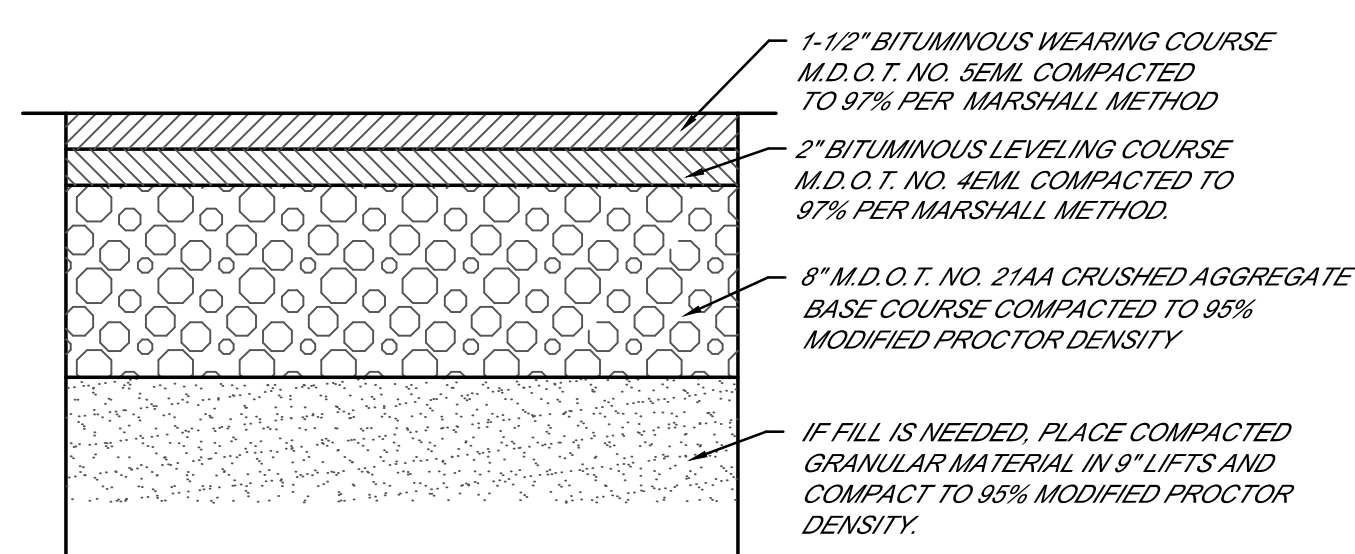
CONCRETE PAD CROSS-SECTION

NOT TO SCALE



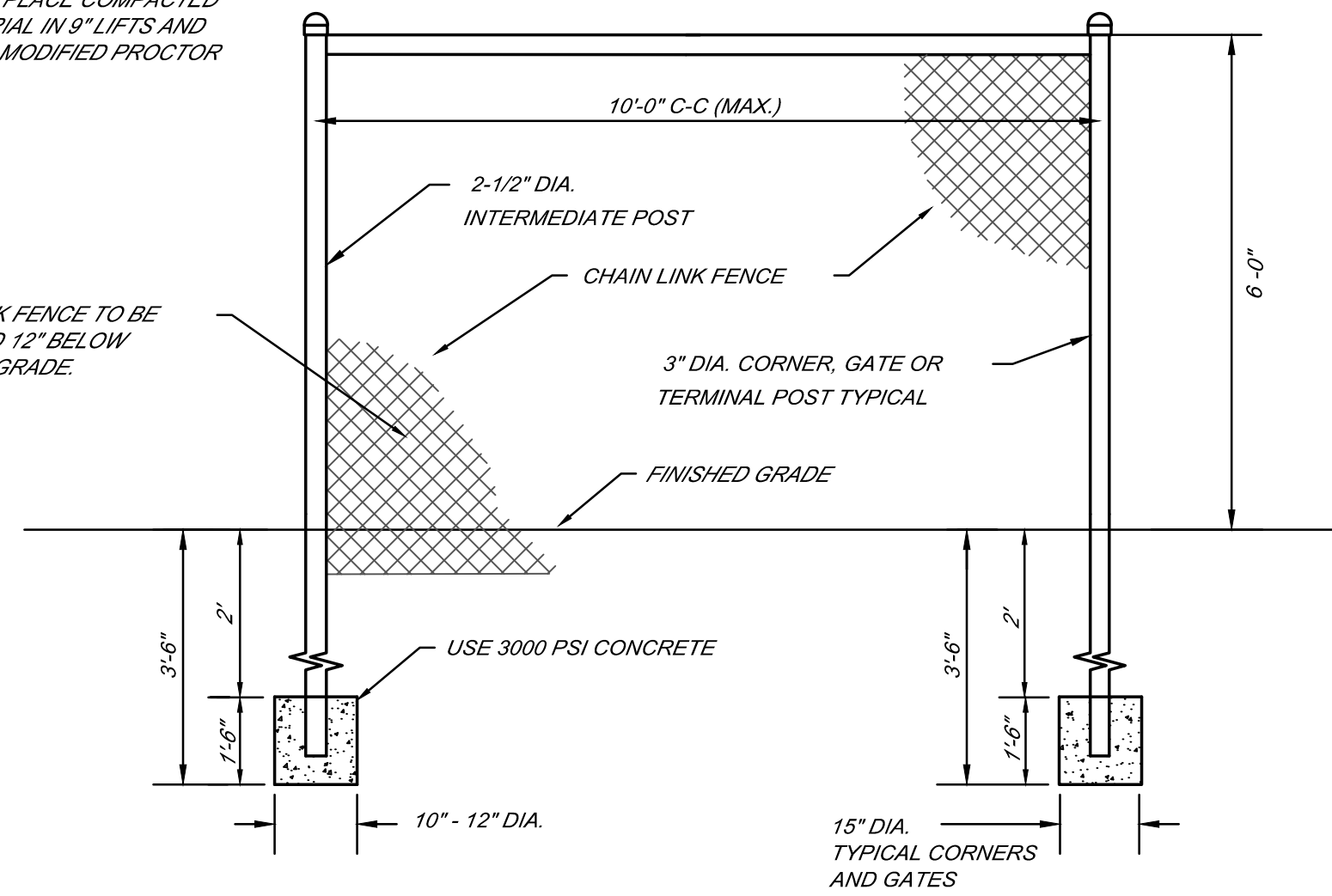
GRAVEL PARKING LOT CROSS SECTION

NOT TO SCALE



STANDARD ASPHALT PAVEMENT

NOT TO SCALE



FENCE DETAIL (PROFILE)

NOT TO SCALE

SIDEWALK CONSTRUCTION NOTES:

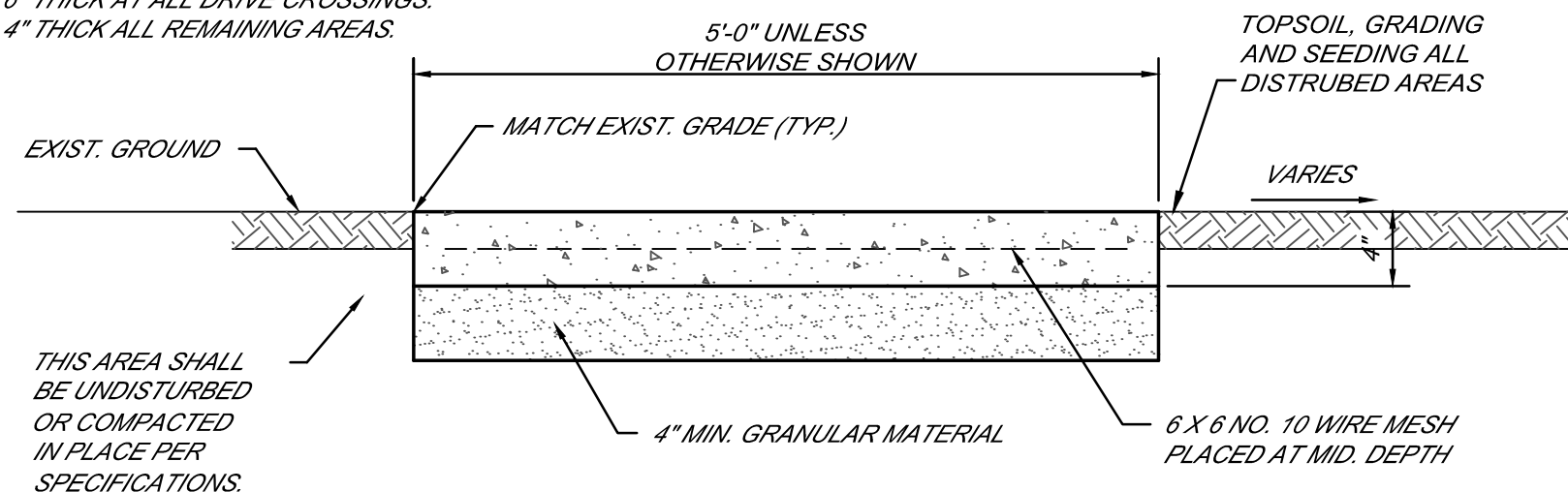
PROVIDE EXPANSION JOINTS:
- AROUND STRUCTURES LOCATED WITHIN THE SIDEWALK.

- AT SLAB ADJACENT TO DRIVEWAY CROSSING.

- AT SPACING AS SPECIFIED.

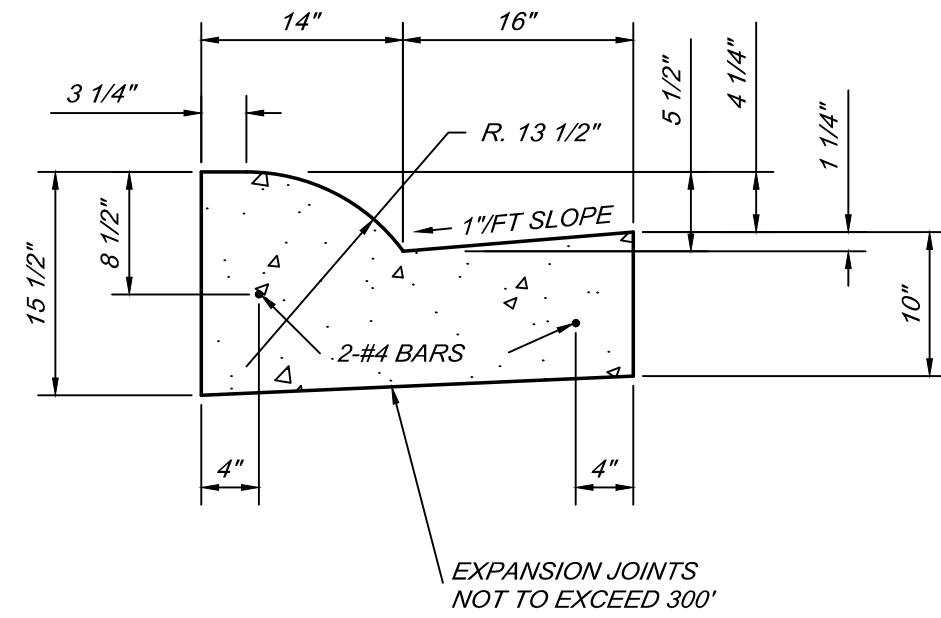
- AT SAWCUT JOINTS

- THICKNESS OF CONCRETE SHALL BE: 6" THICK AT ALL DRIVE CROSSINGS. 4" THICK ALL REMAINING AREAS.



CONCRETE SIDEWALK

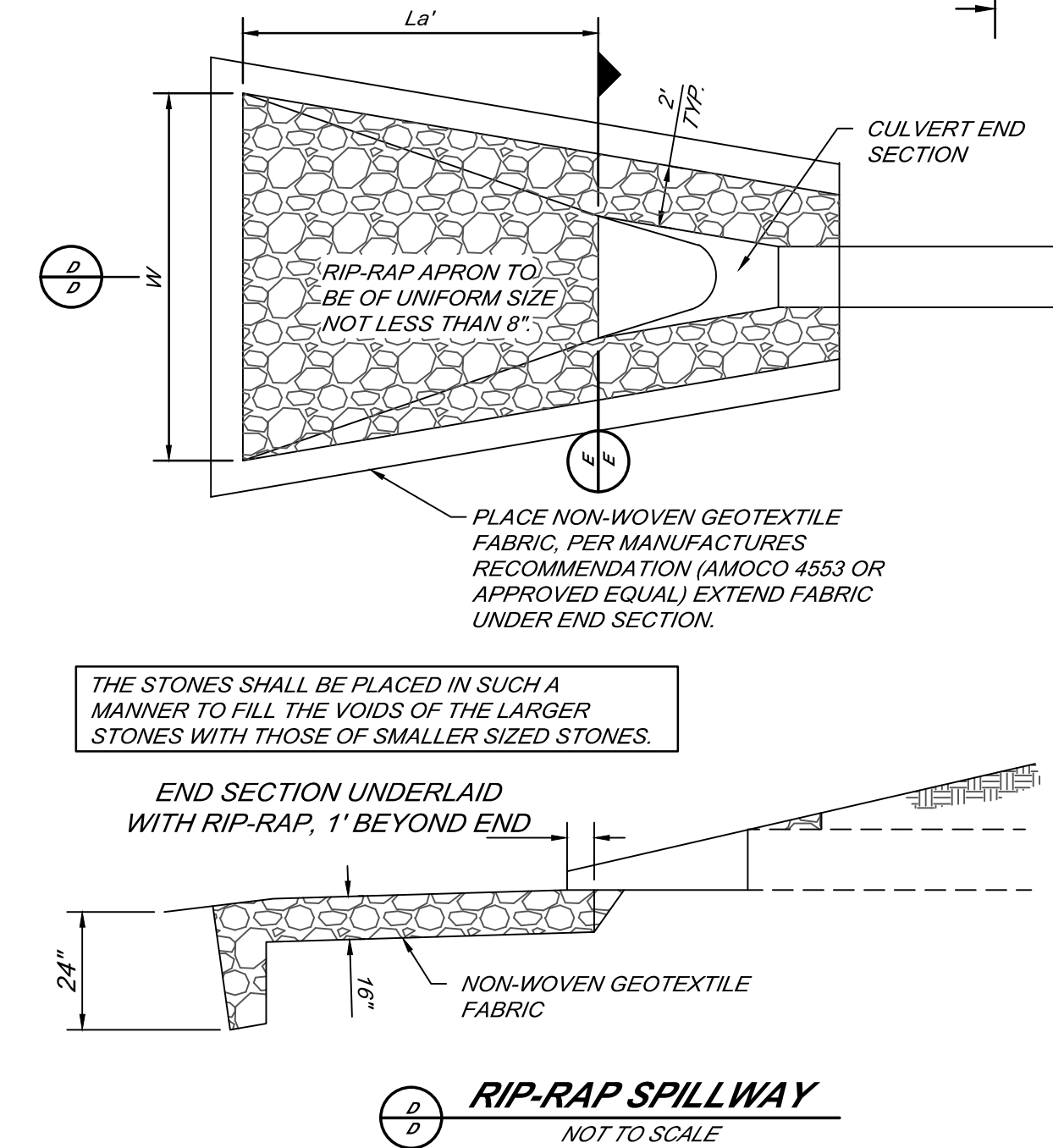
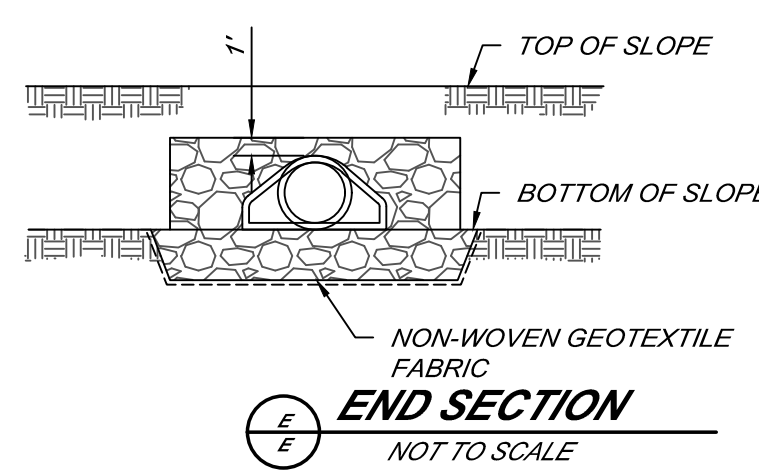
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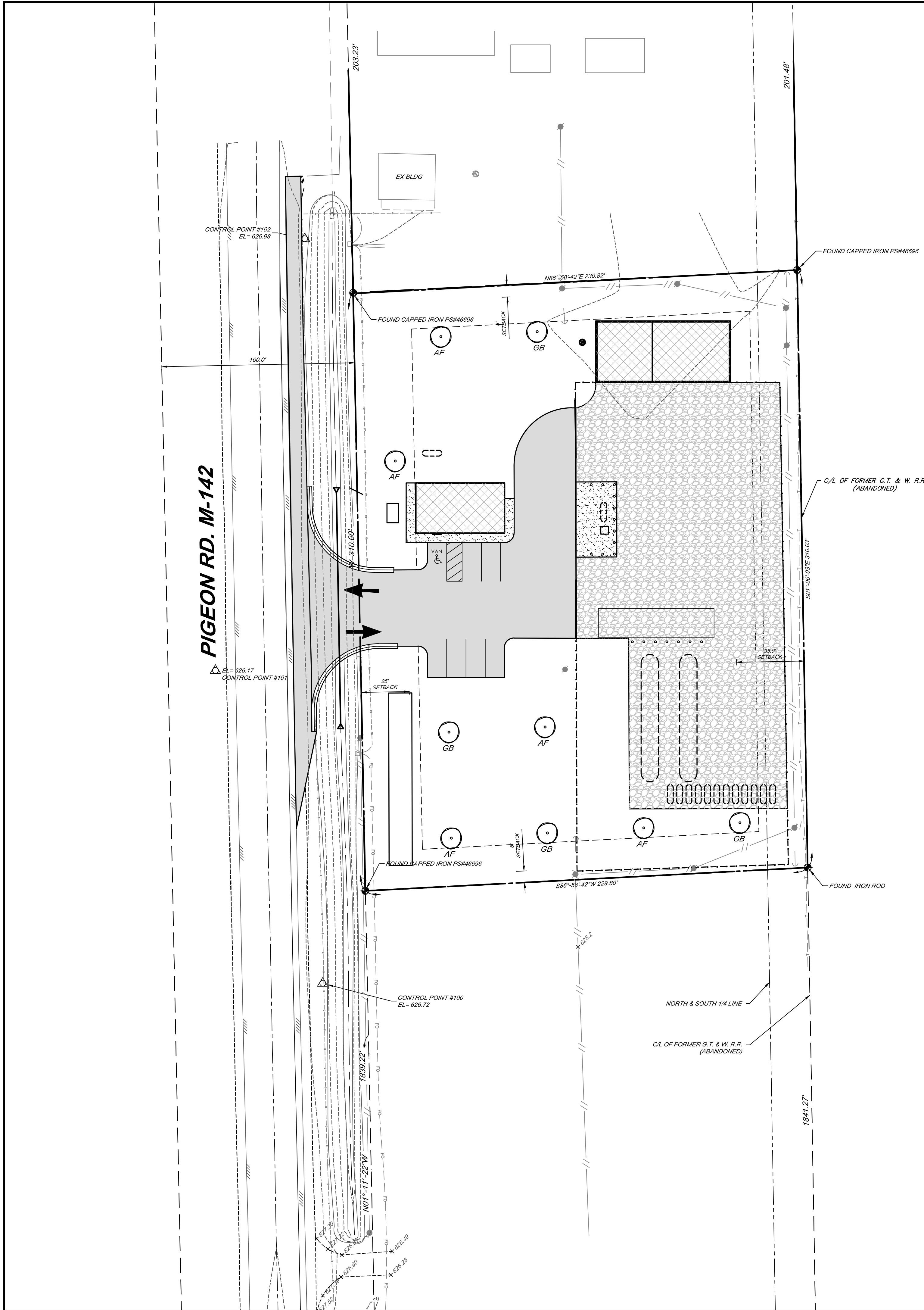
CONCRETE CURB AND GUTTER DETAIL ROLLED STANDARD PAN

NOT TO SCALE

END SECTION SIZE	La	W
12"	10'	11'
15"	10'	12'
18"	11'	13'
24"	19'	21'
27"	20'	23'
30"	24'	25'



		REVISED PER HURON CO. COMMENTS	12-23-25
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CAR		REVISED PER MDOT REVIEW	11-7-25
BY	MARK	REVISIONS	DATE
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HURON PROPANE GAS, LLC 345 S. MAIN STREET PIGEON, MI 48755			
SITE DETAILS SITE IMPROVEMENTS HURON PROPANE GAS WINSOR TOWNSHIP			
			
SAGINAW OFFICE 230 S. Washington Ave. Saginaw, MI 48607 Tel. 989-754-4717 Fax. 989-754-4440 www.SpicerGroup.com			
DE. BY: CAR	CH. BY: LMR	PROJECT NO. 138439SG2025	
DR. BY: GFS	APP. BY: BMB		
STDS.	SHEET 6 OF 7	C	
DATE SEPTEMBER 10, 2025	FILE NO. D-6436- 6	6	
SCALE AS NOTED			



LANDSCAPING SCHEDULE					
TAG	SCIENTIFIC NAME	COMMON NAME	CONDITION	SIZE	QTY.
AF	Acer rubrum 'Franksred'	Red Sunset Maple	B&B	2.5" cal.	5
GB	Ginkgo biloba (male)	Maidenhair Tree	B&B	2.5" cal.	4

LANDSCAPING NOTES:
LANDSCAPE STONES SHALL BE WASHED RIVER STONES 2" TO 3" DIA.
INSTALLED OVER 3 OZ. WEED BARRIER FABRIC.
FOR ALL INTERIOR LANDSCAPE ISLANDS.

HARDWOOD MULCH SHALL CONSIST OF SHREDDED MAPLE AND OAK
INSTALLED 3" DEEP OVER 3 OZ. WEED BARRIER FABRIC.
INSTALL AROUND ALL TREES AND AREA BETWEEN CURB & GUTTER AND
WALK ALONG BAUM STREET FENCE AND ENTRANCE ISLANDS.

THE REMAINDER OF THE SITE SHALL BE HYDROSEED AND MULCHED.

LANDSCAPING PROVIDED:
PROPOSED - 9 TREES

TOTAL TREES = 9

EXISTING LANDSCAPE LEGEND

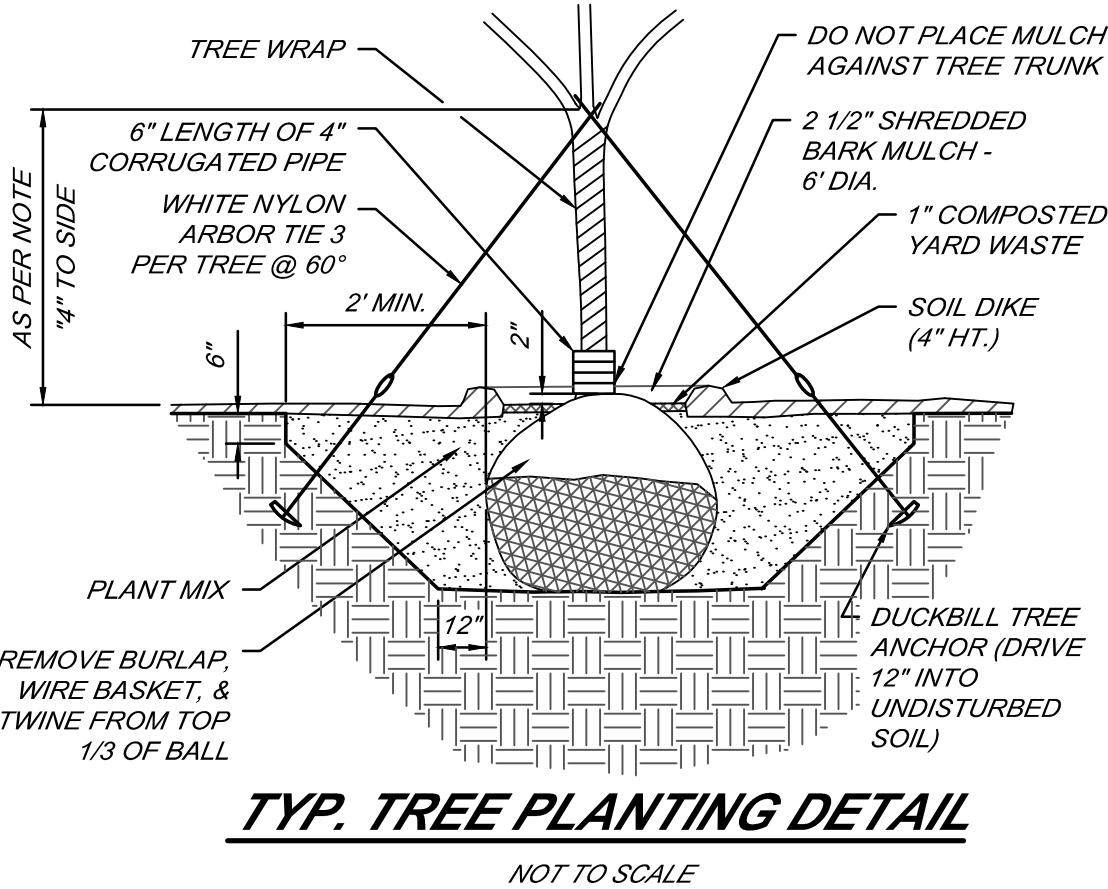
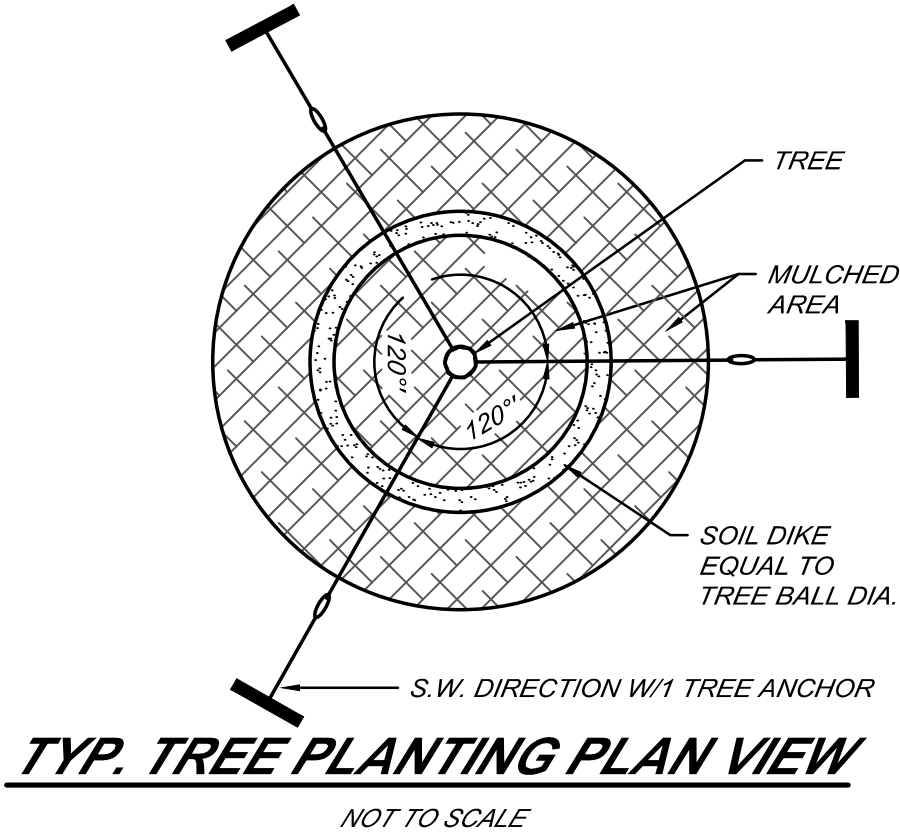
- EVERGREEN TREE
- SHRUB
- DECIDUOUS TREE
- TREE LINE

PROPOSED LANDSCAPE LEGEND

- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- SHRUB
- ORNAMENTAL GRASS
- PERENNIAL

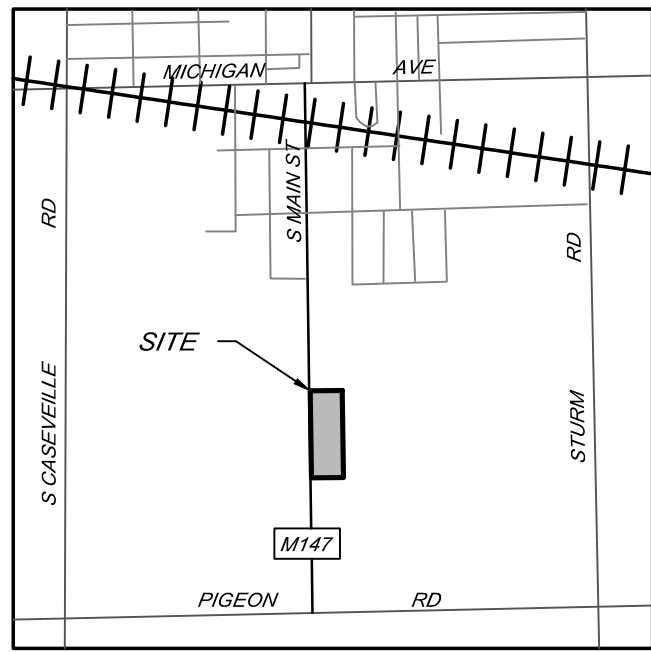
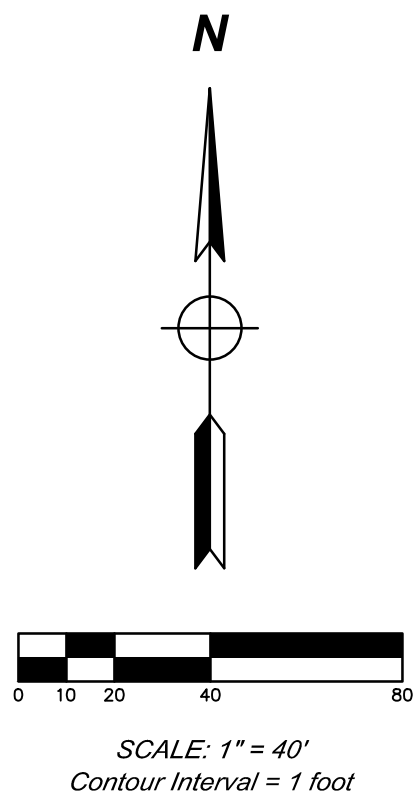
TREE PLANTING GENERAL NOTES:

- GUY TREES AS FOLLOWS: < 3" TREES USE SMALL DUCKBILL ANCHOR. 3"-5" TREES USE MEDIUM DUCKBILL ANCHOR. > 5" TREES USE LARGE DUCKBILL ANCHOR.
- PRUNE TO THIN & SHAPE CANOPY. REMOVE BROKEN, CROSSING, AND WEAK BRANCHES.
- SET TOP OF BALL TO 2" ABOVE FINISH GRADE OF SURROUNDING SOIL.
- STAYS OR GUYS TO BE SET ABOVE FIRST BRANCH OR 50% OF TREE HEIGHT, WHICHEVER IS GREATER. EVERGREEN TREES TO BE GUYED AT 2/3 OF TREE HEIGHT.
- ANCHORS TO EXTEND 12" INTO UNDISTURBED SOIL.



CAR	REVISED PER HURON CO. COMMENTS	12-23-25
CAR	REVISED PER OWNER REVIEW	12-1-25
CAR	REVISED PER MDCOT REVIEW	11-7-25
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LANDSCAPE PLAN SITE IMPROVEMENTS HURON PROPANE GAS WINSOR TOWNSHIP		
Saginaw Office 230 S. Washington Ave. Saginaw, MI 48607 Tel. 989-754-4717 Fax. 989-754-4440 www.SpicerGroup.com		
DE. BY: CAR	CH. BY: LMR	PROJECT NO.
DR. BY: GFS	APP. BY: BMB	138439SG2025
STDS.	SHEET 7 OF 7	L
DATE SEPTEMBER 10, 2025	FILE NO.	1
SCALE 1" = 30'	D-6436-7	

SECTION 11
T.16 N. - R.10 E.
WINSOR TOWNSHIP
HURON COUNTY, MICHIGAN



LOCATION MAP
NOT TO SCALE

LEGEND

- | | |
|------------------------------|--------------------------------|
| ○ - MANHOLE | —//—//— - OVERHEAD POWER LINES |
| ⊖ - STORM MANHOLE | — - TREE LINE |
| ⊖ - ELECTRIC MANHOLE | ⊖ - STUMP |
| ⊖ - GAS MANHOLE | ⊖ - PINE |
| ⊖ - TELEPHONE MANHOLE | ⊖ - BUSH |
| ⊖ - UTILITY MANHOLE | ⊖ - TREE |
| ⊖ - WATER MANHOLE | ⊖ - FOUND SURVEY CORNER |
| ⊖ - CATCHBASIN | ○ - SET 1/2" IRON ROD |
| ⊖ - CURB CATCHBASIN | △ - SET WOOD LATH |
| ⊖ - FIRE HYDRANT | ⊖ - SET P.K. NAIL |
| ⊖ - WATER VALVE | ⊖ - RIGHT OF WAY MARKER |
| ⊖ - TELEPHONE POLE | ⊖ - BENCHMARK |
| ⊖ - POWER POLE | ⊖ - CONTROL POINT |
| ⊖ - POWER AND TELEPHONE POLE | ⊖ - AIR CONDITIONING UNIT |
| ⊖ - GUY ANCHOR AND POLE | ⊖ - SOIL BORING |
| ⊖ - LIGHT POLE | ⊖ - MAIL BOX |
| ⊖ - POWER AND LIGHT POLE | ⊖ - BURIED FIBER OPTIC LINES |
| ⊖ - TELEPHONE PEDESTAL | ⊖ - BURIED TELEPHONE LINES |
| ⊖ - ELECTRICAL PEDESTAL | ⊖ - BURIED CABLE LINES |
| ⊖ - GENERIC UTILITY BOX | ⊖ - BURIED ELECTRIC LINES |
| ⊖ - SIGN | ⊖ - GAS MAINS |
| ⊖ - RAILROAD SIGNAL | ⊖ - WATERMAINS |
| ⊖ - TRANSFORMER | ⊖ - SANITARY SEWER LINES |
| ⊖ - BARRIER FREE PARKING | ⊖ - STORM SEWER LINES |
| ⊖ - BITUMINOUS SURFACE | ⊖ - NOT FIELD LOCATED |
| ⊖ - CONCRETE SURFACE | (M) - MEASURED DIMENSION |
| ⊖ - CONCRETE CURB & GUTTER | (R) - RECORDED DIMENSION |
| ⊖ - FENCE LINE | |

FOR UTILITIES CONTACT

TELEPHONE SERVICE

Pigeon Telephone
20 S. Main Street
Pigeon, MI 48755
TEL 989-453-4321

GAS SERVICE

Huron Propane
7564 Pigeon Road
Pigeon, MI 48755
TEL 989-453-2472

ELECTRIC SERVICE

Thumb Electric Cooperative
2231 Main Street
Pigeon, MI 48755
TEL 989-658-8571

ELECTRIC SERVICE

DTE Electric Company
One Energy Plaza
Detroit, MI 48226
TEL 800-477-4747

WATER AND SEWER SERVICES

Huron County Health Department
1142 S. Van Dyke Road
Bad Axe, MI 48413
TEL 989-269-9721

ZONING

The subject property is zoned "BUS": General Business

BUILDING SETBACKS:

Minimum Lot Area	21,780 sq. ft.
Minimum Lot Width	100 ft.
Front Yard Setback	30 ft.
Side Yard Setback	20 ft.
Rear Yard Setback	25 ft.
Maximum Building Height	40 ft. or 3 Stories

For more Zoning Information see Winsor Township Zoning Ordinances.

PARCEL DESCRIPTION

A parcel of land being in and a part of the North 1/2 of the South 1/2 of Section 11, T16N-R10E, Winsor Township, Huron County, Michigan, described as: commencing at the South 1/4 corner of said Section 11, thence S87°22'45"W along the South line of said Section 11, 202.89 feet; thence N01°11'22"W along the East right-of-way line of State Highway M-142, 1839.22 feet to the point of beginning; thence N01°11'22"W along said East right-of-way line 310.0 feet; thence N86°58'42"E, 230.82 feet; thence S01°00'03"E along the centerline of the former Grand Trunk & Western Railroad 310.03 feet; thence S86°58'42"W 229.80 feet to the point of beginning, containing 1.64 acres of land. Subject to easements, restrictions, and rights-of-way of record.

BENCHMARKS

BM 200 - Set gear spike in S face of wood power pole on East side of M-142 between Osentoski Equipment and Pigeon Village Limit sign ±50' East of M-142 centerline, ±115' South of 'No Parking On Any Street 2am - 6am' sign.
Elev: 626.51 (NAVD88)

BM 201 - Set gear spike in North face of middle wood power pole located on South side of future construction site ±55' East of Western-most power pole, ±50' Southwest of Eastern-most power pole.
Elev: 626.45 (NAVD88)

FLOODPLAIN INFORMATION

According to the Federal Emergency Management Agency (FEMA) maps, Community Panel #26063C0285D, effective date of December, 2, 2008, the subject property lies within Zone X, which are areas of 0.2% annual chance flood, areas of 1% annual chance flood with average depths of less than 1 ft. or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

PREPARED BY:
ROGER P. MAHONEY
PROFESSIONAL SURVEYOR No. 4001041105
230 S. WASHINGTON AVE.
SAGINAW, MICHIGAN 48607
TEL. 989-754-4717
DRAWN BY: D. GITCHELL
DATE: 04/24/25
JOB NUMBER: 138439SG2025
www.SpicerGroup.com



I hereby certify that I have surveyed the parcel of land hereon shown and described within the limits accepted by the practice of Professional Surveying.

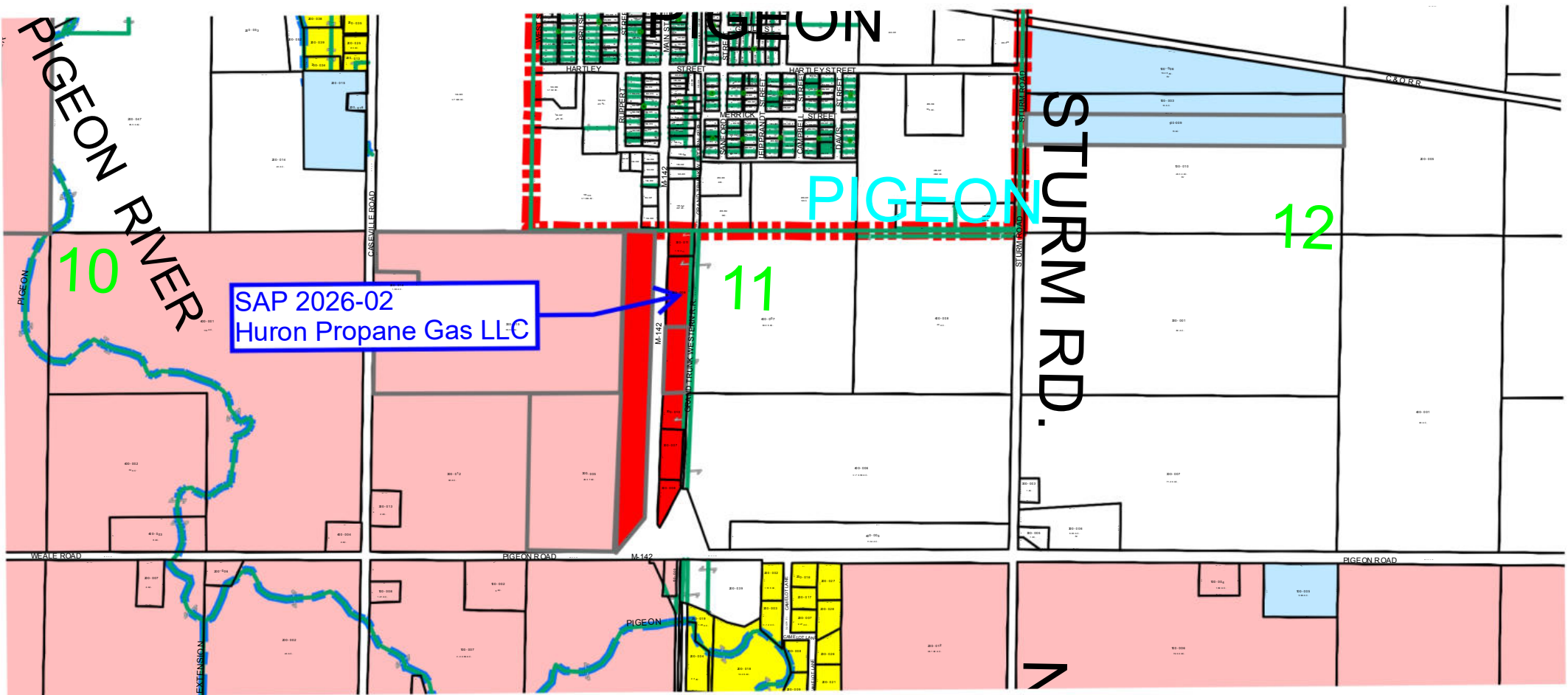
Roger P. Mahoney
Professional Surveyor No. 4001041105

BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY FOR:

LONG'S PROPANE GAS LLC
2535 S. VAN DYKE ROAD
MARLETTE, MI 48453

BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY OF:

PART OF THE SE 1/4
OF SECTION 11, T.6 N. - R.10 E.,
WINSOR TOWNSHIP
HURON COUNTY, MICHIGAN



SAP 2026-02
Huron Propane Gas LLC

PIGEON RIVER

PIGEON

STURM RD.

12

11

10

WEALE ROAD

PIGEON ROAD

M-142

PIGEON ROAD

EXTENSION

PIGEON

N

SCHUETTE TIMOTHY K & SHIRLEY A
325 S MAIN ST
PIGEON, MI 48755

HURON PROPANE GAS LLC
7564 PIGEON RD
PIGEON, MI 48755

TROST CORDELIA D TRUST
PO BOX 211
PIGEON, MI 48755

VILLAGE OF PIGEON
29 S. MAIN ST
PIGEON, MI 48755