

**Notice of Public Hearing**  
**Huron County Planning Commission**  
**Wednesday, February 4, 2026 at 7:00 p.m.**  
**County Building, Room 305**  
**250 E. Huron Avenue, Bad Axe, Michigan, 48413**  
**Special Approval Use Permit: SAP 2026-02.**

Notice is given that the Huron County Planning Commission will hold a public hearing on Wednesday, February 4, 2026, at 7:00 p.m., in Room 305, County Building, 250 E. Huron Avenue, Bad Axe, Michigan 48413. The purpose of this meeting and public hearing is to hear comments about and consider the following request described below:

**Special Approval Use Permit, SAP 2026-02:** David Long, agent for Huron Propane Gas LLC, 7564 Pigeon Road, Pigeon, Michigan, 48755, is requesting zoning approval to construct a new propane delivery business located at 345 S. Main St., Pigeon, Michigan, Section 11 of Winsor Twp. This site was previously approved under SAP 2024-03. Construction has not commenced at this location, so the original approval from 2024 has expired and the owner has also decided to change the size of the proposed office building. The owner intends to build a 26ft. x 46ft. business office, a 32ft. x 70ft. storage building which includes a heated workshop along with unenclosed propane vehicle parking bays, two 30,000-gallon bulk propane storage tanks, a 1000-gallon propane tank filling station, and an area to store propane rental tanks ranging in sizes of 100 to 1,000 gallons each. Parcel I.D. Number 3228-011-003-12 consists of approximately 1.64 acres of General Business (BUS) Zoned land. Under provisions of the Zoning Ordinance of Huron County, Article VII, Section 7.03 Uses Authorized After Special Approval, Subsection Q states wholesale stores, storage facilities, warehouse buildings, and distribution plants are permitted subject to special approval use permit.

The application materials and site plan relative to this request are available for public examination during regular office hours at the Huron County Planning, Building & Zoning Department, Room 102 of the County Building, 250 E. Huron Avenue, Bad Axe, Michigan 48413 or [www.co.huron.mi.us](http://www.co.huron.mi.us). Following the public hearing, the Planning Commission will consider granting a Special Approval Use Permit.

Persons wishing to comment on the proposed special use permit are invited to this meeting. Written comments may be mailed to the Huron County Building & Zoning Department, 250 E. Huron Avenue, Room 102, Bad Axe, Michigan 48413 or sent by fax to 989-269-3362 or email to [smithj@co.huron.mi.us](mailto:smithj@co.huron.mi.us). For further information on this matter, please contact Jeff Smith of the Building & Zoning Department at 989-269-9269.

This notice is disseminated pursuant to PA 110 of 2006, being the Michigan Zoning Enabling Act, as amended.

Huron County Planning Commission  
Bill Renn, Chairman



SAP 2026-02  
HURON PROPANE  
GAS DELIVERY  
BUSINESS OFFICE,  
STORAGE BLDG.  
AND (2) 30,000  
GALLON LP TANKS  
& TANK RENTALS

345 S. MAIN ST., PIGEON  
SEC 11 WINSOR TWP.  
PREVIOUSLY APPROVED  
UNDER SAP2024-03



Map Publication:  
01/15/2026 11:51 AM

100m  
300ft

powered by  
**FetchGIS**

**HURON COUNTY PLANNING COMMISSION  
APPLICATION FOR SPECIAL APPROVAL PERMIT**

\$800.00 Application Fee Regular Meeting  
\$1,200.00 Application Fee Special Meeting Rev. 01/2025

Date: 11/11/2025

PROJECT NO.: SAP 2026-02

APPLICANT'S NAME: Huron Propane Gas, LLC

ADDRESS: 7564 Pigeon Rd. Pigeon MI 48755 989-453-2472  
street city state zip telephone

PROPERTY OWNER'S NAME AND ADDRESS (if different than above):

name \_\_\_\_\_

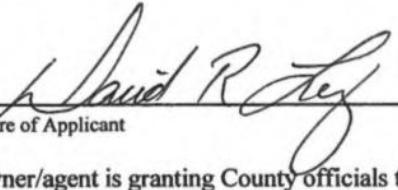
street address city state zip telephone

ADDRESS OF PROPERTY REQUESTED FOR SPECIAL USE PERMIT: 345 S Main St., Pigeon MI 48755

PROPERTY IDENTIFICATION No.: 3228-011-003-12

DESCRIPTION OF PROJECT (ATTACH SITE PLAN, Application will not be accepted without site plan):

See attached description and site plan

  
Signature of Applicant

11/11/2025

Date

By signing this application, owner/agent is granting County officials the right to on-site inspection of property involved in this request.

**PLANNING COMMISSION ACTION:**

APPROVED, AS SUBMITTED;

APPROVED, WITH THE FOLLOWING MODIFICATIONS: \_\_\_\_\_

DENIED, FOR THE FOLLOWING REASON(S): \_\_\_\_\_

Jeffrey Smith, Director

*#1571 \$800.00 Receipt #78102*

Date

*SAP Permit Application*

**RECEIVED**

**DEC 23 2025**

# Special Approval Permit Description

## Huron Propane Gas LLC

On November 1<sup>st</sup>, 2022, Huron Propane Gas LLC acquired the propane business from Active Feed Company and Huron Gas Company. Huron Propane currently rents office space from Active Feed Company at their main office located at 7564 Pigeon Rd. Huron Propane also owns the 30,000-gallon propane tank which is located behind Active Feed's main office. Active Feed agreed to lease office space to Huron Propane until we find a new location for the business.

Huron Propane purchased 1.64 acres of property located at 345 S Main Street from Timothy and Shirley Schuette on July 26, 2024. Huron Propane received approval from the Huron County Planning Commission for our Special Approval Use Permit (SAP 2024-03) on May 1, 2024. This SAP was to construct a new business office, storage building, and propane bulk plant.

Since the SAP has expired and the office building size has changed, we are applying for another SAP.

The office will be 1,196 square feet with dimensions of 26'x46'. The pole barn will remain the same size at 32'x70'. There will only be one driveway instead of the original two, since MDOT would not approve two driveways for the property.

We plan to have three employees who will help customers out of this office. We plan to relocate a propane filling station currently at Long's Propane in Caro to the new location. The filling station includes a 1,000-gallon propane tank and a small cabinet, which is how we refill propane cylinders and motorhome tanks. The propane filling station and two 30,000-gallon bulk tanks will be enclosed in a fenced area with two gates which will be kept locked when the office is not open. The pole barn will include a heated workshop along with four open bays for our propane delivery and service trucks. We will also have an area near the 30,000-gallon storage tanks where we will store propane rental tanks which range in sizes of 100-gallon to 1,000-gallon. On average, we try to keep at least a dozen tanks on hand.

The driveway and parking area will be asphalt while the area inside the fence will be gravel.

The permits for the 30,000-gallon propane tanks and the propane filling station are issued by the Michigan Department of Licensing and Regulatory Affairs (LARA). To comply with LARA's regulations, the 30,000-gallon tanks will need to be installed at least 50' from the property lines.

Zoning Ordinance of Huron County, Michigan December 1, 2010

ARTICLEVIII. IND.GENERAL INDUSTRIAL DISTRICTContinued.

SECTION 8.09 GENERAL PERFORMANCESTANDARDScontinued.

B. Gases- No gas shall be emitted which is detrimental to the public health, safety and general welfare.

C. Glare and Heat- Glare and heat from arc welding, acetylene torch cutting, or similar processes shall be performed so as not to have an adverse effect outside of the property.

D. Fire and Safety Hazards- The storage and handling of flammable liquids, liquefied petroleum gases, and explosives shall comply with state rules and regulations as established by Public Act 207 of 1941, as amended.

ARTICLEIX. HURON COUNTY -SCHEDULE OFREGULATIONS.  
LIMITATIONSFOR HEIGHT,AREA,BULKANDPLACEMENT BY  
ZONING DISTRICT

SECTION 9.01SCHEDULE OFREGULATIONS;LIMITATIONSFOR HEIGHT,AREA,BULK AND  
PLACEMENT.

REFER TO SECTION 14.17 LAND DIVISIONS AND ACCESS REQUIREMENTS

Zoning District	Lot Width (minimum) Feet	Lot Area (minimum) Sq. Ft.	Lot Coverage (Maximum) Percent	Height of Buildings (maximum) Stories/Ft.	Yard Requirements, Unobstructed (minimum)- Feet. Sides Least One Total Front Two Rear	Floor Area per Dwelling (Grd.fl)
AGR Agriculture	100	1 Acre	15 %	2 ½ 35	45 20 40 60 (b) (b,c) (b)	900 - 14 ft. minimum width.
R-1 & R-2 Single Family Residential	70 (a)	12,250 (a)	25 %	2 ½ 35	25 10 20 35 (b,p) (b,c) (b)	900 R-1: 20 ft. minimum width R-2: 14 ft. minimum width.
RM-1 Multiple Family Residential	(f)(d)		(d)	3 40	50 30 60 30 (e,k) (e,k) (e)	600
<b>BUS General Business</b>	100	½ acre	<b>25 %</b>	3 40 (l)	<b>30 20 40 25</b> (g) (h,j,k) (i,j)	
IND General Industrial	100	1 acre	25 %	40 (l)	50 20 40 40 (m,n) (k,n) (n,o)	

ALL NEW DWELLING UNITS SHALL COMPLY WITH PROVISIONS OF SECTION 2.02 A. (42) FOR THE DISTRICT WHERE THE PROPERTY IS LOCATED.

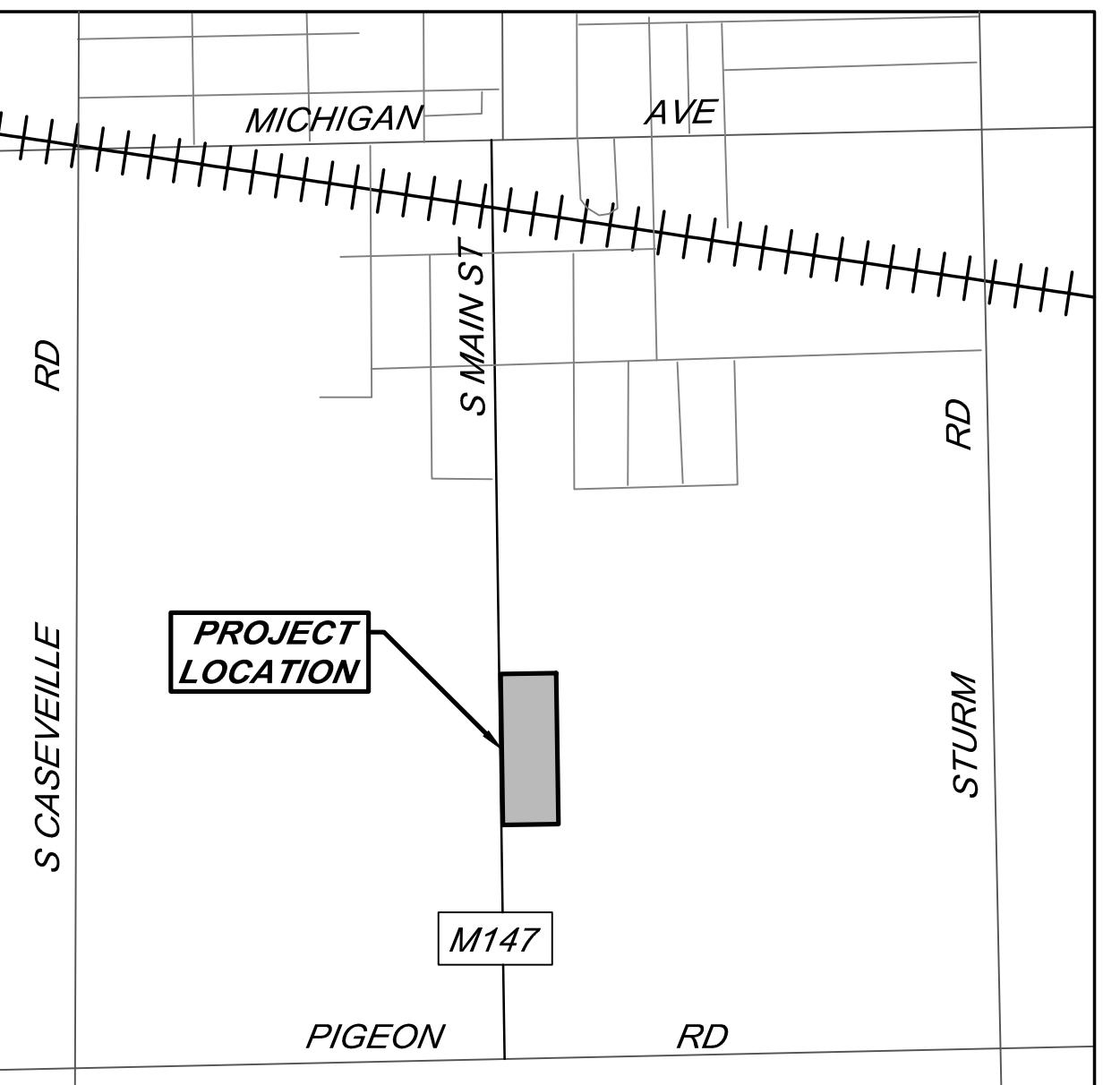
# SITE PLAN HURON PROPANE GAS

345 S. MAIN STREET  
PIGEON, MI 48755

OWNER:  
LONG'S PROPANE GAS LLC  
2535 S. VAN DYKE ROAD  
MARLETE, MI 48453  
TEL. 989-239-7083



AREA MAP  
NOT TO SCALE



LOCATION MAP  
NOT TO SCALE



SECTION 11  
T.16 N - R.10 E.  
WINSOR TOWNSHIP  
HURON COUNTY, MICHIGAN

CAR	REVISED PER HURON CO. COMMENTS	12-23-25
CAR	REVISED PER OWNER REVIEW	12-1-25
BY MARK	REVISED PER MDOT REVIEW	11-7-25

REVISIONS  
DATE  
THE WORK REPRESENTED BY THIS DRAWING WAS DESIGNED BY THE ENGINEER FOR THIS SPECIFIC LOCATION AND SPECIFIC LOCATION AND USE. HE HAS A LIABILITY TO THE CONTRACTOR AND OWNER FOR THE DESIGN AS DRAWN. THE ENGINEER DOES NOT GUARANTEE AND WILL NOT BE LIABLE FOR ANY OTHER LOCATION, CONDITION, DESIGN OR PURPOSE.

HURON PROPANE GAS, LLC  
345 S. MAIN STREET  
PIGEON, MI 48755

## TITLE SHEET SITE IMPROVEMENTS HURON PROPANE GAS WINSOR TOWNSHIP

SAGINAW OFFICE  
239 S. Washington Ave.  
Saginaw, MI 48607  
Tel. 989-754-4717  
Fax. 989-754-4441  
www.SpicerGroup.com



DE. BY: CAR	CH. BY: LMR	PROJECT NO.
DR. BY: GPS	APP. BY: BMB	138439SG2025
STDS.	SHEET 1 OF 7	C
DATE SEPTEMBER 10, 2025 SCALE N/A	FILE NO.	1

NO WORK SHALL BE PERFORMED BEFORE 7:00 AM OR AFTER 7:00 PM MONDAY THROUGH SATURDAY. NO WORK SHALL HAPPEN ON SUNDAYS OR HOLIDAYS, UNLESS AUTHORIZED BY THE OWNER.

CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS PRIOR TO START OF CONSTRUCTION, CONSTRUCTION STAKING AND INSPECTION.

CONTRACTOR SHALL MAINTAIN ACCESS FOR MAIL DELIVERY AND GARBAGE PICKUP AT ALL PARCELS. IF THESE SERVICES CANNOT BE PERFORMED, CONTRACTOR IS RESPONSIBLE FOR TAKING THE NECESSARY MEASURES TO CARRY THEM OUT.

COORDINATE DRIVE CLOSURES AND MAIL BOX RELOCATION WITH LANDOWNERS A MINIMUM OF ONE DAY IN ADVANCE.

CONTRACTOR TO PROVIDE DUST CONTROL AND SWEEP ROADS DAILY.

ALL EXCAVATED MATERIAL NOT TO BE REUSED OR DISPOSED OF ON SITE SHALL BE REMOVED FROM SITE. THE CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF MATERIALS ACCORDING TO LOCAL AND STATE REQUIREMENTS.

#### UNDERGROUND UTILITIES/MISS DIG

FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 174, 2013, THE CONTRACTOR SHALL DIAL 1-800-482-7771 OR 811 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS, PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

THE EXISTING UTILITIES ON THESE DRAWINGS HAVE BEEN SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND SHALL NOTIFY THE ENGINEER AS TO WHERE POSSIBLE CONFLICT EXISTS.

ALL CONSTRUCTION UNDER EXISTING UTILITIES, INCLUDING HOUSE SERVICES, SHALL BE COMPLETELY BACKFILLED WITH SAND, IN 12" LAYERS, AND COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM UNIT WEIGHT.

ANY UTILITIES ENCOUNTERED DURING CONSTRUCTION SHALL BE SUPPORTED, PER THE SPECIFICATIONS OF THE INDIVIDUAL UTILITY COMPANY CLAIMING OWNERSHIP OF THE UTILITY.

#### SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

APPROPRIATE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO EARTH-DISTURBING ACTIVITIES. PLACE TURF ESTABLISHMENT ITEMS AS SOON AS POSSIBLE ON POTENTIAL ERODABLE SLOPES AS DIRECTED BY OWNER. CRITICAL DITCH GRADES SHALL BE PROTECTED WITH EITHER SOD, SEED/MULCH, OR SEED/MULCH BLANKET AS DIRECTED BY OWNER.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE AND MAINTAINED UNTIL THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MEASURES SHALL ONLY BE PAID FOR ONCE.

ALL CATCHBASINS AND SEDIMENTATION TRAPS/BASINS SHALL BE CLEANED OUT UPON COMPLETION OF THE PROJECT.

CONTRACTOR SHALL CONFORM TO SOIL EROSION AND SEDIMENTATION CONTROL ACT, PART 91 OF ACT 451 OF 1994.

#### PROPERTY OWNERS

PROPERTY OWNERS' NAMES, WHERE SHOWN, ARE FOR INFORMATION ONLY, AND THEIR ACCURACY IS NOT GUARANTEED.

#### ADJUSTING MONUMENT BOXES

ALL GOVERNMENT CORNERS ON THIS PROJECT SHALL BE PRESERVED, WHETHER SHOWN OR NOT. IT MAY BE NECESSARY TO PLACE OR ADJUST MONUMENT BOXES, AS REQUIRED.

#### TRAFFIC

THE CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES. SIGNAGE MUST BE IN ACCORDANCE WITH THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SHALL BE COORDINATED WITH THE ENGINEER AND GOVERNING ROAD AGENCY. PERMITS MAY BE REQUIRED.

#### PERMITS

PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED BY THE APPROPRIATE AGENCIES.

CONSTRUCTION PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE APPROPRIATE AGENCIES.

#### WATER MAIN NOTES

WATER MAIN SHALL HAVE A MINIMUM COVER OF 5'-6" UNLESS OTHERWISE SPECIFIED.

ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE HURON COUNTY HEALTH DEPARTMENT.

THE CONTRACTOR SHALL SECURE ALL MECHANICAL JOINT FITTINGS WITH RETAINERS GLANDS IN ADDITION TO THRUST BLOCKING. RETAINER GLANDS SHALL BE MEGA-LUG AS MANUFACTURED BY EBAA IRON OR APPROVED EQUAL.

WRAP ALL FITTINGS, VALVES, HYDRANTS, AND ALL D.I. PIPE IN 8 MIL POLYETHYLENE SHEET PER AWWA C105.

THE CONCRETE USED FOR BLOCKING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI IN 28 DAYS.

ALL FITTINGS SHALL BE MECHANICAL JOINT.

ALL FERROUS PARTS SHALL RECEIVE A 10 MIL (DMT) COATING OF COAL TAR EPOXY.

#### SANITARY SEWER NOTES

CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7771) A MINIMUM OF 3 WORKING DAYS PRIOR TO CONSTRUCTION.

ALL CONSTRUCTION UNDER EXISTING OR PROPOSED PAVEMENT AND FUTURE UTILITIES, INCLUDING HOUSE SERVICES, SHALL BE COMPLETELY BACKFILLED WITH SAND, IN 12" LAYERS, AND COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM UNIT WEIGHT. COST TO BE INCLUDED IN THE UNIT PRICE BID FOR SANITARY SEWER.

ALL SEWER JOINTS SHALL CONFORM TO A.S.T.M. C-425.

ALL SEWER PIPE SHALL CONFORM TO A.S.T.M. C-700.

INFILTRATION SHALL NOT EXCEED 100 GAL./INCH DIA./MILE/DAY.

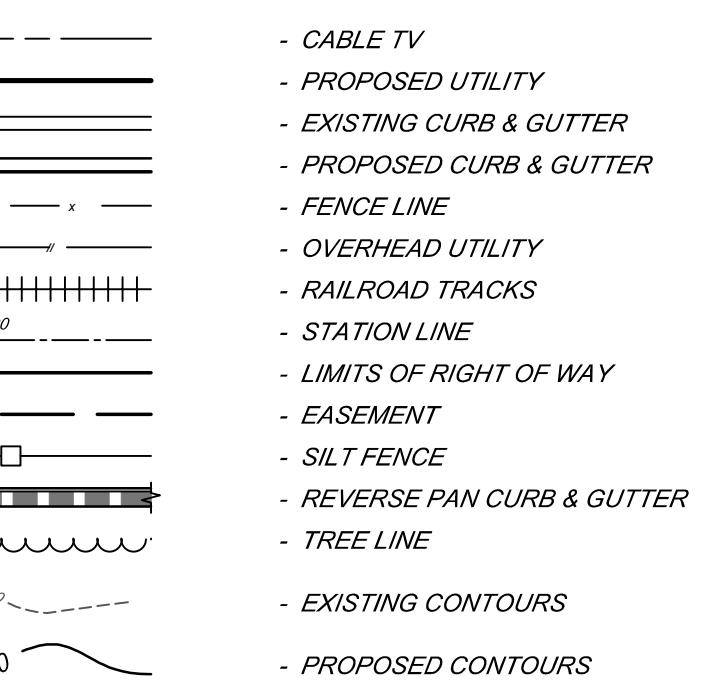
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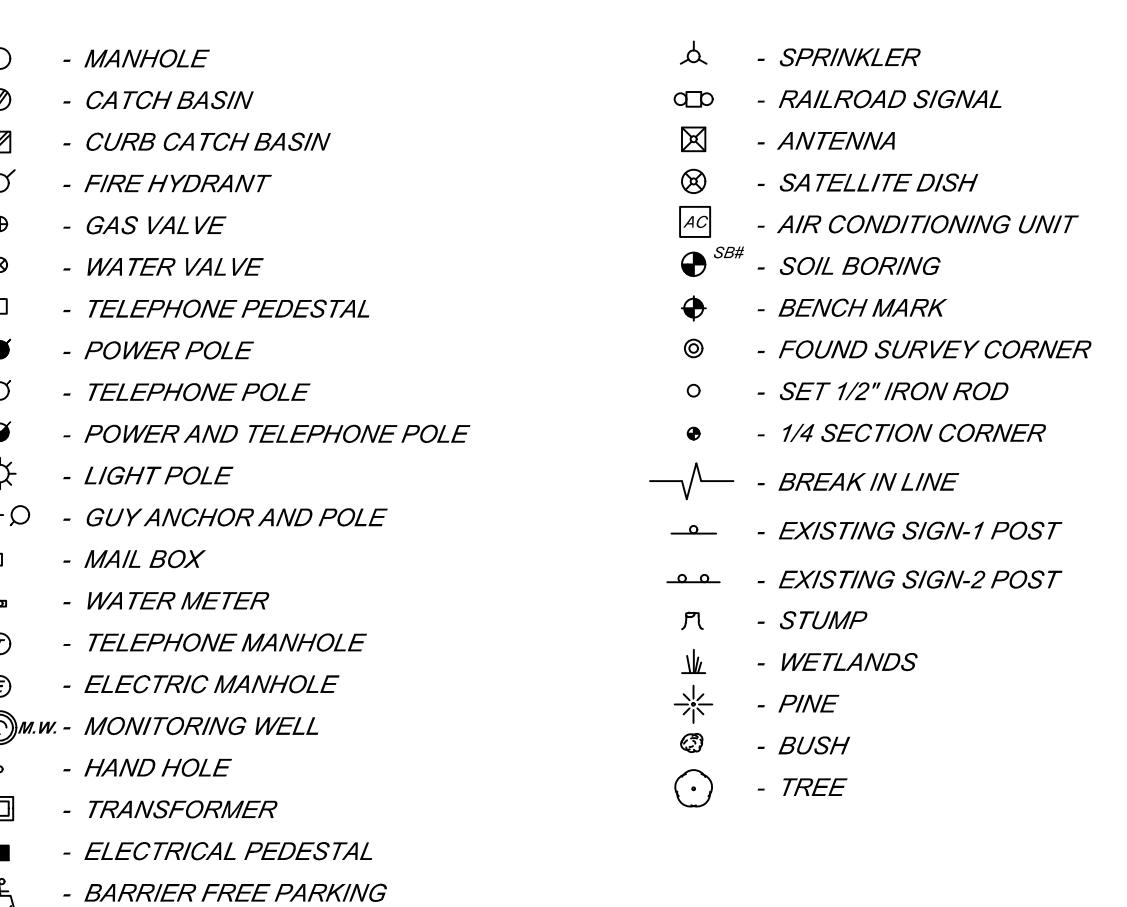
#### ABBREVIATIONS

BC = BACK OF CURB  
BM = BENCH MARK  
CC = CENTER TO CENTER  
CB = CATCH BASIN  
CL = CENTERLINE  
CJ = CONSTRUCTION JOINT  
CMP = CORRUGATED METAL PIPE  
CSP = CORRUGATED STEEL PIPE  
CONC = CONCRETE  
DI = DUCTILE IRON PIPE  
EF = EACH FACE  
ELEC = ELECTRIC  
EL OR ELEV = ELEVATION  
EOM = EDGE OF METAL  
EOP = EDGE OF PAVEMENT  
EQ/SP = EQUALLY SPACED  
EAS = EASEMENT  
EAV = EACH WAY  
EX OR EXIST = EXISTING  
FF = FINISH FLOOR  
FL = FLOW LINE  
FS = FINISH SURFACE  
FG = FINISH GROUND  
GALV = GALVANIZED  
G = GUTTER  
HDG = HOT DIP GALVANIZED  
HDPE = HIGH DENSITY POLYETHYLENE  
HP = HIGH POINT  
HMA = HOT MIX ASPHALT  
HYD = HYDRANT  
INV = INVERT  
LP = LOW POINT  
OC = OUT CASTER  
OH = OVERHEAD  
MH = MANHOLE  
MIN = MINIMUM  
MON = MONUMENT  
NFL = NOT FIELD LOCATED  
NTS = NOT TO SCALE  
PROP = PROPOSED  
PVC = POLYVINYL CHLORIDE  
RCP = REINFORCED CONCRETE PIPE  
ROW = RIGHT OF WAY  
SAN = SANITARY  
SB = SOIL BORING  
SS = STAINLESS STEEL  
STA = STATION  
STM = STORM  
SWR = SEWER  
TAA = AIR BOTTOM  
TC = TOP OF CURB  
TOB = TOP OF BANK  
TOS = TOE OF SLOPE  
TELE = TELEPHONE  
TRW = TOP OF RETAINING WALL  
TW = TOP OF WALK  
UNO = UNLESS NOTED OTHERWISE  
WM = WATER MAIN  
WS = WATER SURFACE ELEVATION

#### LINE TYPE LEGEND



#### SYMBOL LEGEND EXISTING SYMBOLS



#### PROPOSED SYMBOLS



SPOT ELEVATION LABELS

600.00

LABEL

G = CUTTER  
TW = WALK  
TC = TOP OF CURB  
FS = FINISH SURFACE

CAR	REVISED PER HURON CO. COMMENTS	12-23-25
CAR	REVISED PER OWNER REVIEW	12-1-25
CAR	REVISED PER MDOT REVIEW	11-7-25
BY MARK	REVISIONS	DATE

THE WORK REPRESENTED BY THIS DRAWING WAS DESIGNED BY THE ENGINEER FOR THIS SPECIFIC LOCATION AND IS NOT TO BE USED FOR ANY OTHER LOCATION. THE CONTRACTOR AND OWNER SHALL BE HELD HARMLESS FOR ANY DAMAGE CAUSED BY THE DESIGNERS DRAWING. THE ENGINEER DOES NOT GUARANTEE AND WILL NOT BE LIABLE FOR ANY OTHER LOCATION, CONDITION, DESIGN OR PURPOSE.

**HURON PROPANE GAS, LLC**  
**345 S. MAIN STREET**  
**PIGEON, MI 48755**

DE. BY: CAR	CH. BY: LMR	PROJECT NO.
DR. BY: GPS	APP. BY: BMB	138439SG2025
STDS.	SHEET 2 OF 7	C
DATE SEPTEMBER 10, 2025	FILE NO.	2
SCALE N/A	SCALE	2

**Spicer**  
group

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DE- BY: CAR CH- BY: LMR PROJECT NO.  
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STDS. SHEET 2 OF 7 C  
DATE SEPTEMBER 10, 2025 FILE NO.  
SCALE N/A SCALE 2  
D-6436- 2 2

#### CONTACTS

##### TELEPHONE SERVICE

Pigeon Telephone  
20 S. Main Street  
Pigeon, MI 48755  
TEL 989-453-4321

##### GAS SERVICE

Huron Propane  
7564 Pigeon Road  
Pigeon, MI 48755  
TEL 989-453-2472

##### ELECTRIC SERVICE

Thumb Electric Cooperative  
2231 Main Street  
Pigeon, MI 48755  
TEL 989-658-8571

##### ELECTRIC SERVICE

DTE Electric Company  
One Energy Plaza  
Detroit, MI 48226  
TEL 800-477-4747

##### WATER AND SEWER SERVICES

Huron County Health Department  
1142 S. Van Dyke Road  
Bad Axe, MI 48423  
TEL 989-269-9721

#### MICHIGAN ASSOCIATION OF COUNTY DRAIN COMMISSIONERS

##### SOIL EROSION AND SEDIMENTATION CONTROL

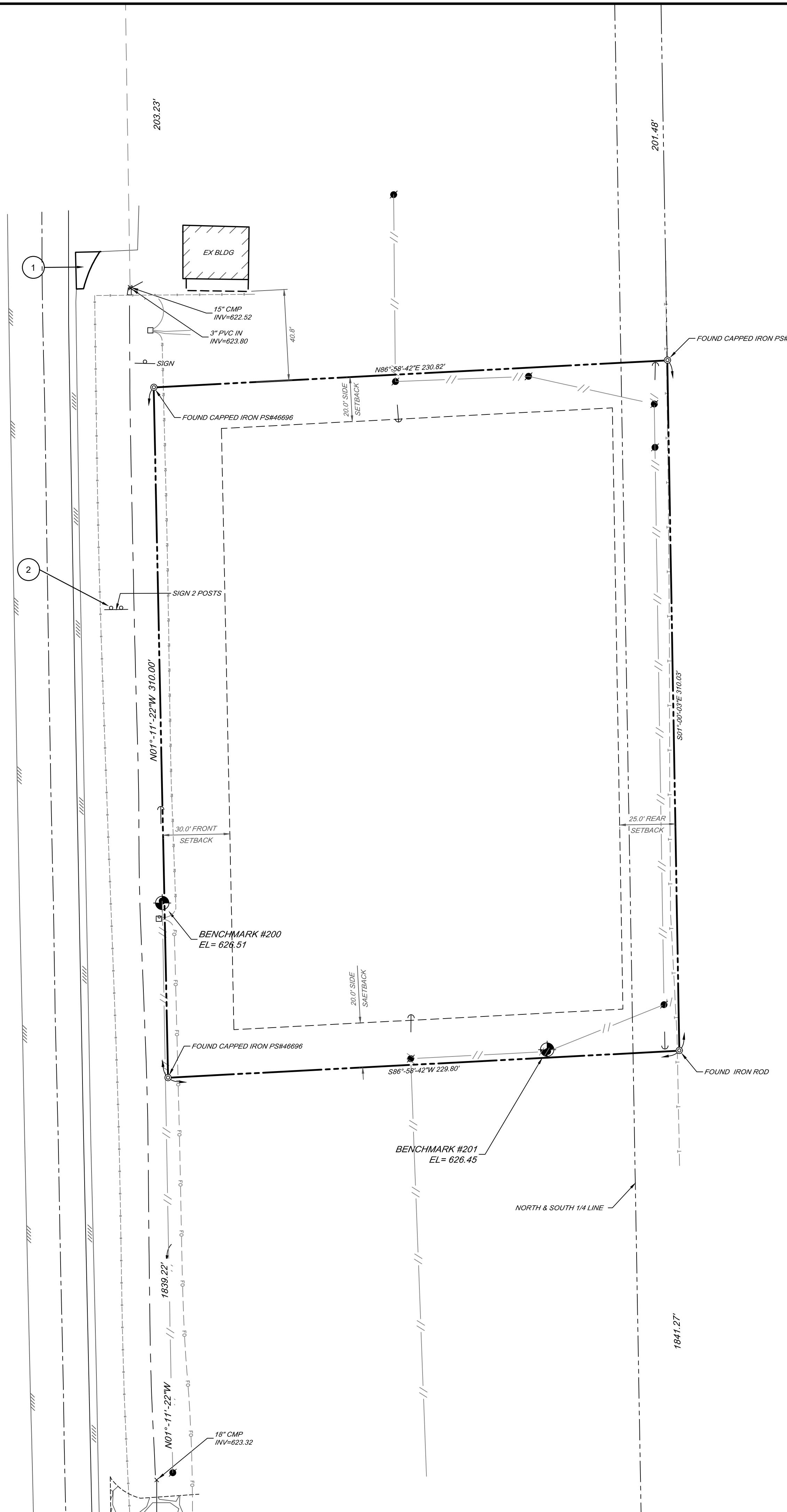
##### KEYING SYSTEM

KEY	SESC MEASURE	SYMBOL	WHERE USED
1	SEEDING		When bare soil is exposed, temporarily or permanently; to ensue forces from wind and/or water on flat areas, mild slopes, grassed waterways and spillways, diversion ditches and dikes, borrow and stockpile areas, and spoil piles.
7	STORM DRAIN INLET PROTECTION		Around the entrance to a newly constructed catch basin or an inlet that will capture runoff from an earth charge activity.

##### DETAILED DRAWINGS AND SPECIFICATIONS ARE LOCATED IN THE MICHIGAN ASSOCIATION OF COUNTY DRAIN COMMISSIONERS SOIL EROSION AND SEDIMENTATION CONTROL AUTHORIZED PUBLIC AGENCY PROCEDURES MANUAL

SYMBOLS FOR INSERTION INTO CONSTRUCTION DRAWINGS:  
⊕ = PERMANENT MEASURE  
⊕ = TEMPORARY MEASURE

**PIGEON RD. M-142**



**SECTION 11**  
**T.16 N. - R.10 E.**  
**WINSOR TOWNSHIP**  
**HURON COUNTY, MICHIGAN**

N



**DEMOLITION NOTES**

1. PROTECT TREES, PLANT GROWTH, AND FEATURES DESIGNED TO REMAIN AS FINAL LANDSCAPING.
2. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE THE TAGGING OF SPECIFIC TREES/SHRUBS TO BE PRESERVED PRIOR TO BEGINNING DEMOLITION.
3. REMOVE TREES AND SHRUBS WITHIN LIMITS OF CONSTRUCTION AS NOTED. REMOVE STUMPS, MAIN ROOT BALL, ROOT SYSTEM TO A DEPTH OF 12 INCHES AND SURFACE ROCK.
4. CLEAR AREAS REQUIRED FOR ACCESS TO SITE AND EXECUTION OF WORK.
5. REMOVE NOTED WALLS, FOUNDATIONS, PAVING, CURBS, AND SIDEWALKS.
6. SAWCUT ALL PAVEMENT, CURBS AND WALKS NOTED FOR REMOVAL FOR A CLEAN EDGE.
7. REMOVE ALL CLEARED ITEMS FROM SITE AND PROPERLY DISPOSE OF.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR SEEDING ALL DISTURBED AREAS.

**DEMOLITION ITEMS**

1 REMOVE EXISTING ASPHALT.  
2 REMOVE/RELOCATE DOUBLE-POST PARKING SIGN.

CAR	REVISED PER HURON CO. COMMENTS	12-23-25
CAR	REVISED PER OWNER REVIEW	12-1-25
CAR	REVISED PER MDOT REVIEW	11-7-25
BY MARK REVISIONS DATE		

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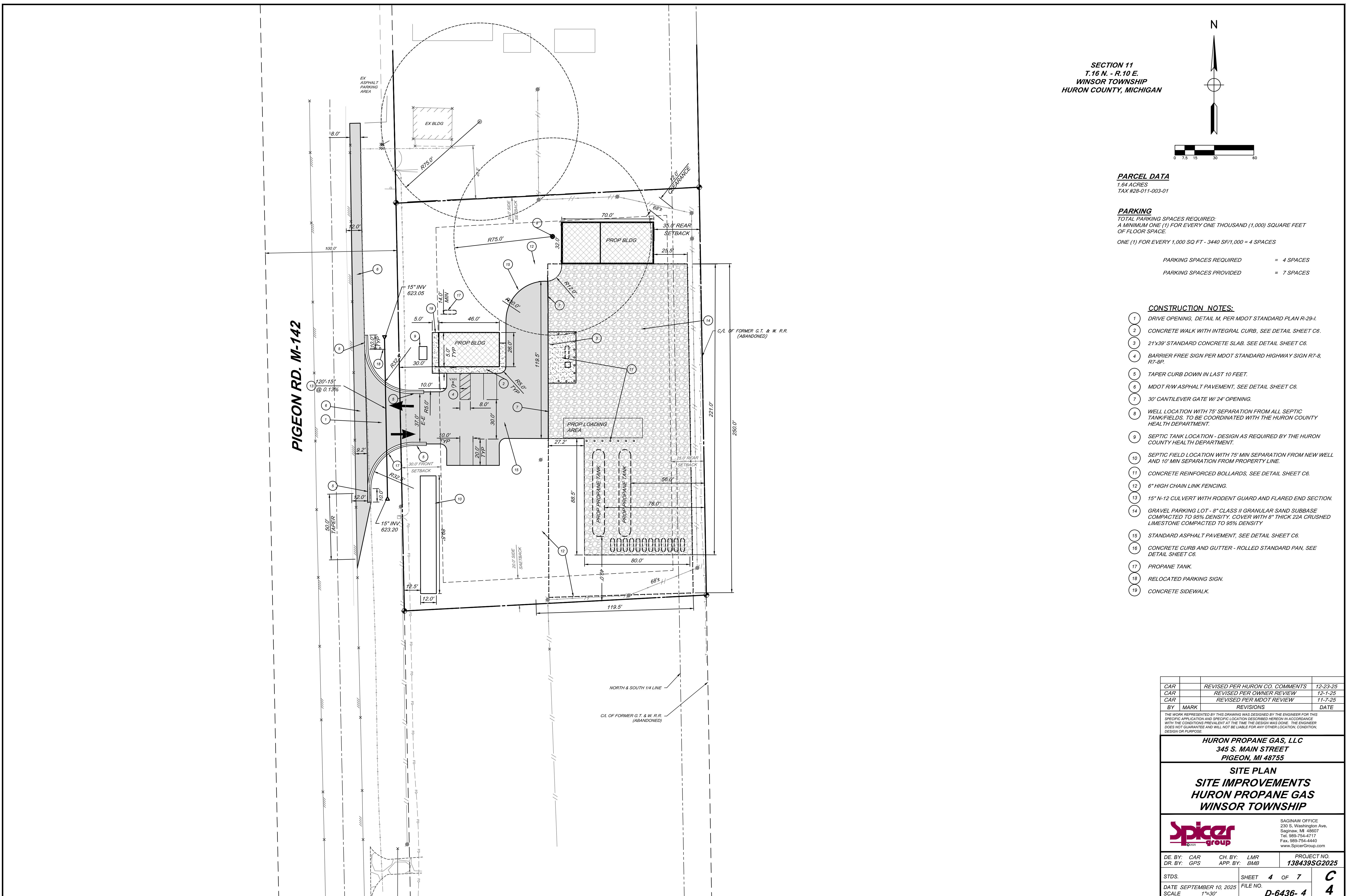
**HURON PROPANE GAS, LLC**  
**345 S. MAIN STREET**  
**PIGEON, MI 48755**

**DEMOLITION PLAN**  
**SITE IMPROVEMENTS**  
**HURON PROPANE GAS**  
**WINSOR TOWNSHIP**

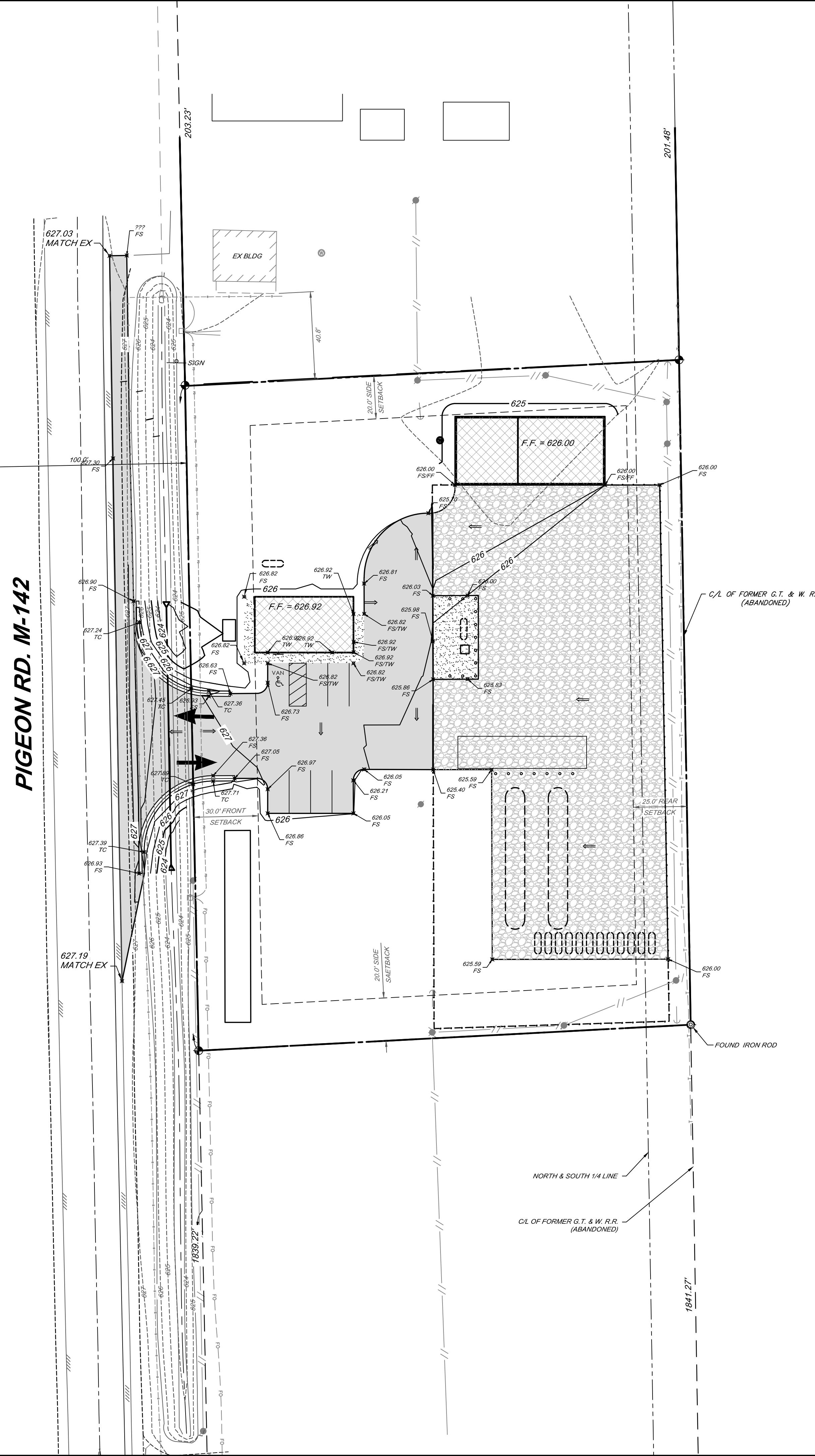


SAGINAW OFFICE  
230 S. Washington Ave.  
Saginaw, MI 48607  
Tel. 989-754-4717  
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STD. 3	OF 7	C
DATE SEPTEMBER 10, 2025	FILE NO.	D-6436-3
SCALE 1"=30'		3



**PIGEON RD. M-142**



SECTION 11  
T.16 N. - R.10 E.  
WINSOR TOWNSHIP  
HURON COUNTY, MICHIGAN

N

**IMPERVIOUS NOTE**  
EXISTING IMPERVIOUS AREA = 0 S.F.  
PROPOSED IMPERVIOUS AREA = 35559 S.F.  
DIFFERENCE IN AREA = 35559 S.F.

**BENCHMARKS**

BM 200 - Set gear spike in S face of wood power pole on East side of M-142 between Osenotski Equipment and "Pigeon Village Limit" sign ±50' East of M-142 centerline, ±115' South of "No Parking On Any Street 2am - 6am" sign.  
Elev: 626.51 (NAVD88)

BM 201 - Set gear spike in North face of middle wood power pole located on South side of future construction site ±55' East of Western-most power pole, ±50' Southwest of Eastern-most power pole.  
Elev: 626.45 (NAVD88)



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CAR	REVISED PER MDOT REVIEW	11-7-25
BY MARK	REVISIONS	DATE

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**HURON PROPANE GAS, LLC**  
345 S. MAIN STREET  
PIGEON, MI 48755

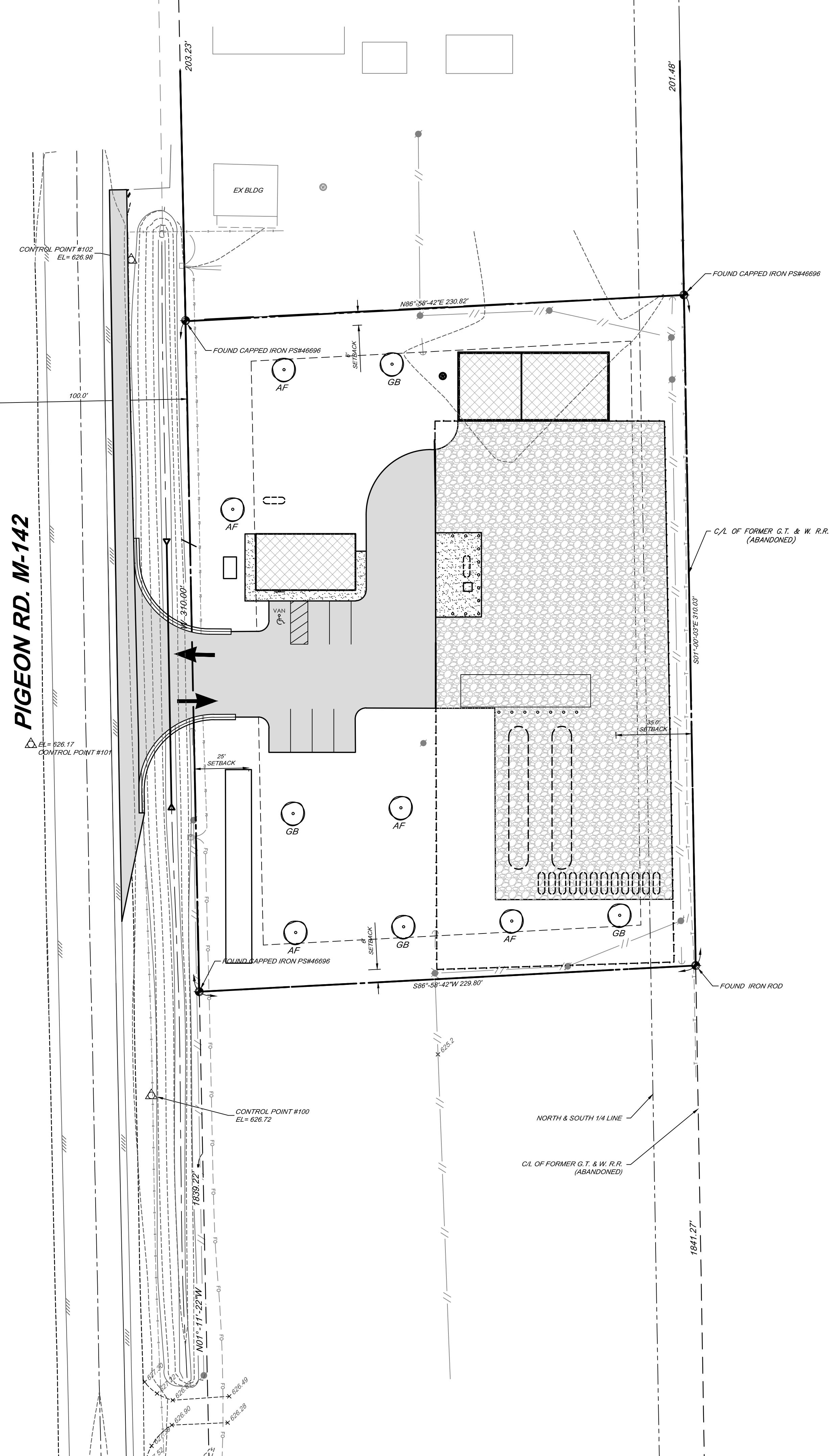
**GRADING PLAN**  
**SITE IMPROVEMENTS**  
**HURON PROPANE GAS**  
**WINSOR TOWNSHIP**

DE BY: DR. BY: GPS	CH. BY: APP. BY: BMB	PROJECT NO: 138439SG2025
STDS.	SHEET 5 OF 7	C
DATE: SEPTEMBER 10, 2025 SCALE: 1" = 30'	FILE NO: D-6436-5	5

**Spicer**  
group

SAGINAW OFFICE  
230 S. Washington Ave.  
Saginaw, MI 48607  
Tel: 989-754-4717  
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LANDSCAPING SCHEDULE					
Tag	Scientific Name	Common Name	Condition	Size	Qty.
AF	<i>Acer rubrum 'Franksred'</i>	Red Sunset Maple	B&B	2.5" cal.	5
GB	<i>Ginkgo biloba (male)</i>	Maidenhair Tree	B&B	2.5" cal.	4

**LANDSCAPING NOTES:**  
LANDSCAPE STONES SHALL BE WASHED RIVER STONES 2" TO 3" DIA.  
INSTALLED OVER 3 OZ. WEED BARRIER FABRIC.  
FOR ALL INTERIOR LANDSCAPE ISLANDS.

*HARDWOOD MULCH SHALL CONSIST OF SHREDDED MAPLE AND OAK  
INSTALLED 3" DEEP OVER 3 OZ. WEED BARRIER FABRIC.  
INSTALL AROUND ALL TREES AND AREA BETWEEN CURB & GUTTER AND  
WALK ALONG BAUM STREET FENCE AND ENTRANCE ISLANDS.*

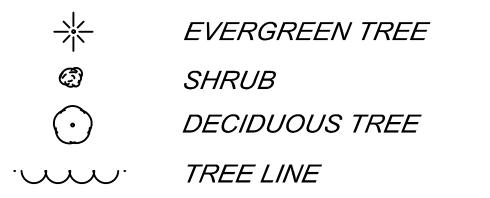
*THE REMAINDER OF THE SITE SHALL BE HYDROSEED AND MULCHED.*

LANDSCAPING PROVIDED:

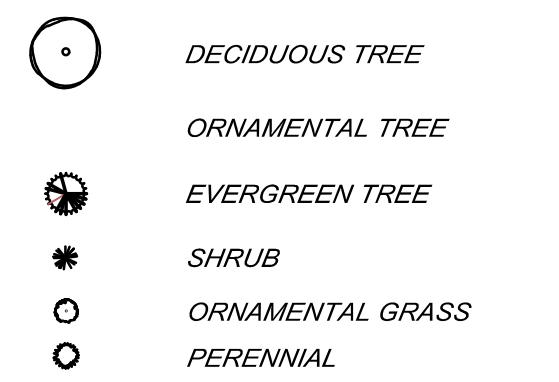
PROPOSED - 9 TREES

TOTAL TREES =

### EXISTING LANDSCAPE LEGEND

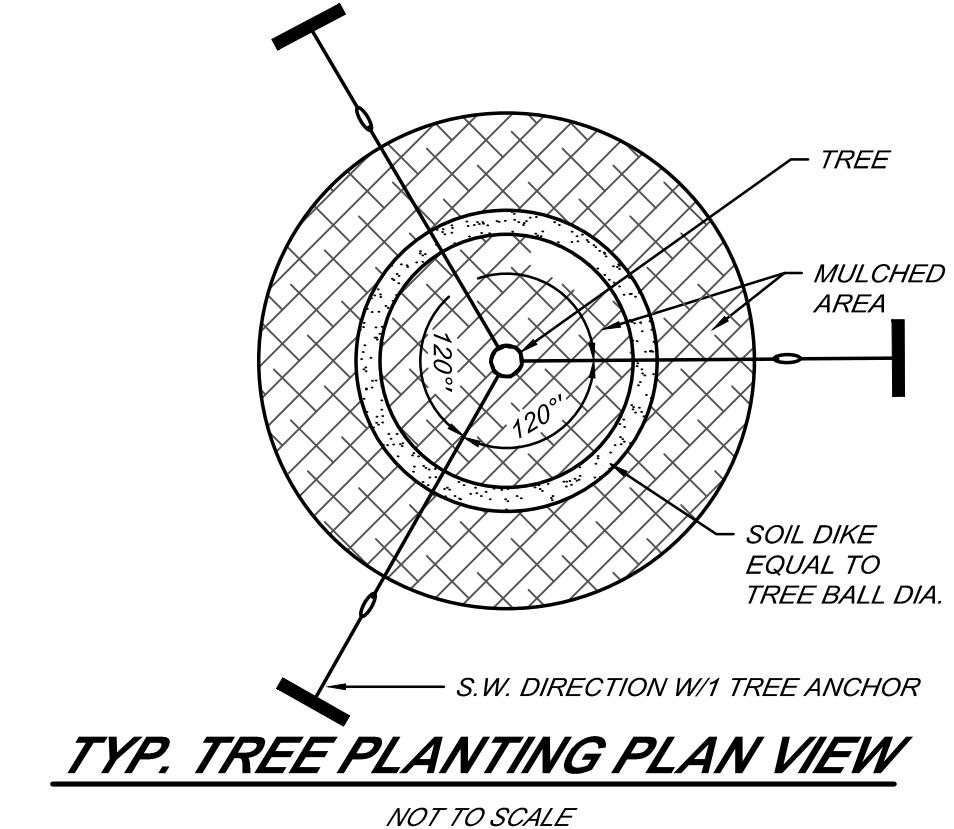


### PROPOSED LANDSCAPE LEGEND



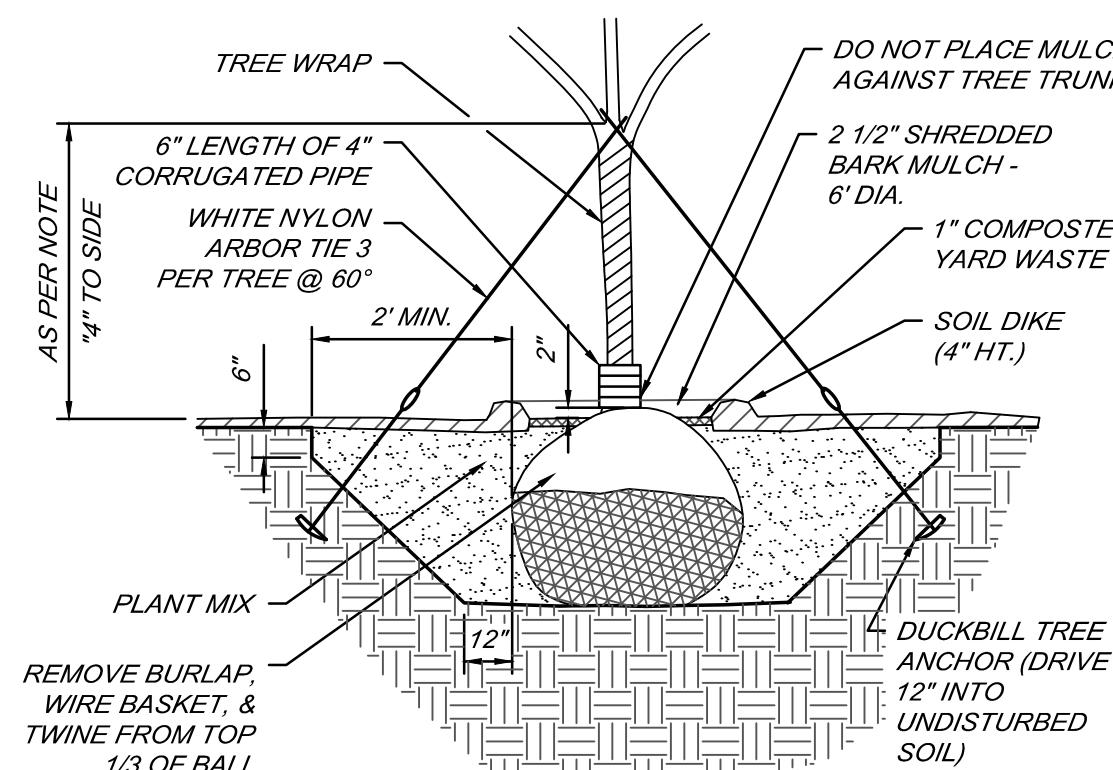
### **TREE PLANTING GENERAL NOTES:**

1. *GUY TREES AS FOLLOWS: < 3" TREES USE SMALL DUCKBILL ANCHOR. 3"-5" TREES USE MEDIUM DUCKBILL ANCHOR. > 5" TREES USE LARGE DUCKBILL ANCHOR.*
2. *PRUNE TO THIN & SHAPE CANOPY. REMOVE BROKEN, CROSSING, AND WEAK BRANCHES.*
3. *SET TOP OF BALL TO 2" ABOVE FINISH GRADE OF SURROUNDING SOIL.*
4. *STAYS OR GUYS TO BE SET ABOVE FIRST BRANCH OR 50% OF TREE HEIGHT, WHICHEVER IS GREATER. EVERGREEN TREES TO BE GUYED AT 2/3 OF TREE HEIGHT.*
5. *ANCHORS TO EXTEND 12" INTO UNDISTURBED SOIL.*



## TYP. TREE PLANTING PLAN VIEW

*NOT TO SCALE*



### ***TYP. TREE PLANTING DETAIL***

---

NOTE TO

<i>CAR</i>	<i>REVISED PER HURON CO. COMMENTS</i>	<i>12-23-25</i>	
<i>CAR</i>	<i>REVISED PER OWNER REVIEW</i>	<i>12-1-25</i>	
<i>CAR</i>	<i>REVISED PER MDOT REVIEW</i>	<i>11-7-25</i>	
<i>BY</i>	<i>MARK</i>	<i>REVISIONS</i>	<i>DATE</i>

**HURON PROPANE GAS, LLC**  
**345 S. MAIN STREET**  
**PIGEON, MI 48755**

***LANDSCAPE PLAN  
SITE IMPROVEMENTS  
HURON PROPANE GAS  
WINSOR TOWNSHIP***

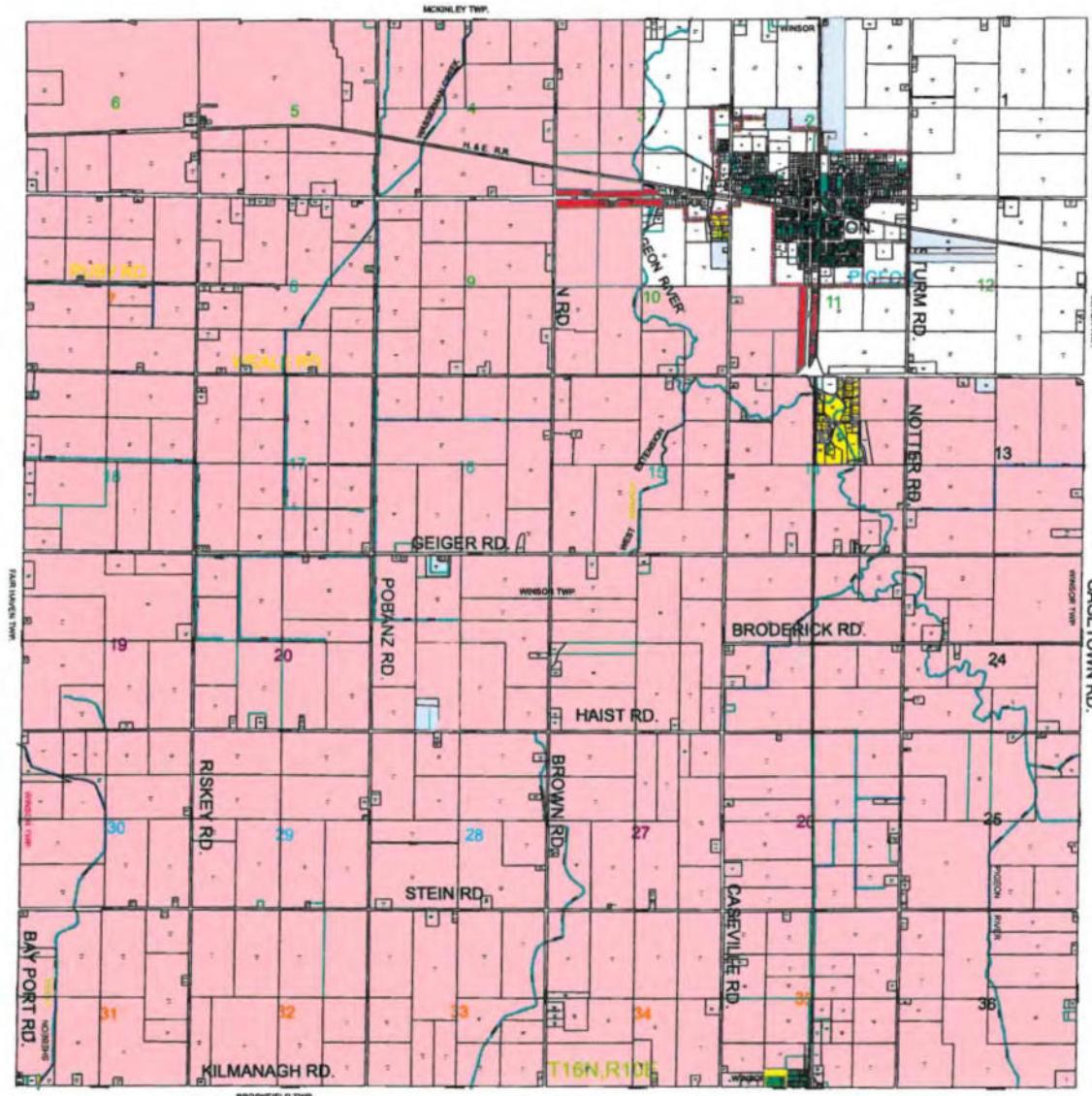
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**Winsorzng14**

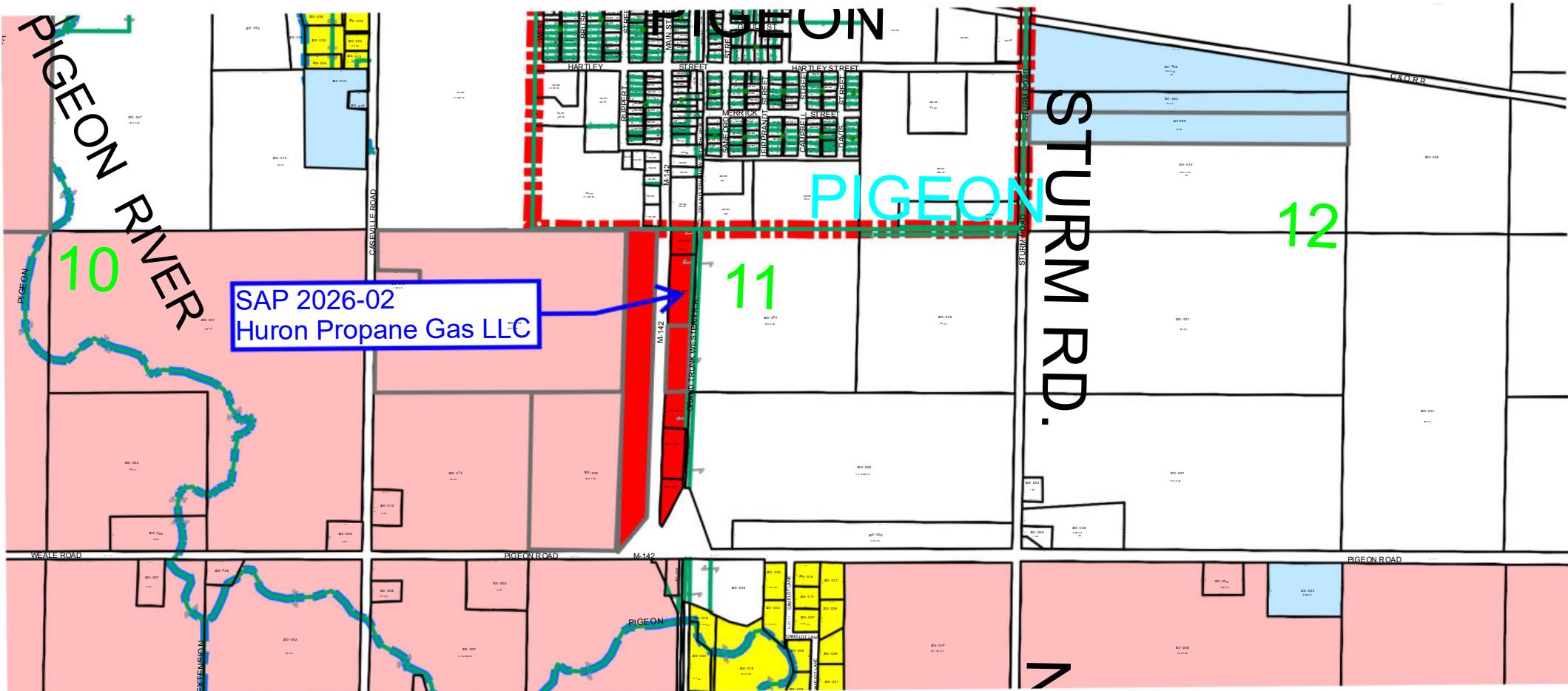
**Zoning**

AGR
BUS
IND
RES
WE

Effective March 1, 2006.  
Current thru 6-1-2016.

PREPARED BY:  
Huron County Tax Mapping/GIS Department  
250 E Huron Avenue  
Room 306  
Bad Axe, MI 48413-1165  
989.269.9421  
989.269.2836 FAX  
6-1-2016@H

\*\*\*All zoning is subject to change. Please check with county zoning official for any updates.\*\*\*



SCHUETTE TIMOTHY K & SHIRLEY A  
325 S MAIN ST  
PIGEON, MI 48755

HURON PROPANE GAS LLC  
7564 PIGEON RD  
PIGEON, MI 48755

TROST CORDELIA D TRUST  
PO BOX 211  
PIGEON, MI 48755

VILLAGE OF PIGEON  
29 S. MAIN ST  
PIGEON, MI 48755